

# HERITAGE IMPACT STATEMENT

RICHMOND MALTINGS VHR 2050  
&  
NYLEX SIGN VHR 2049

PROPOSED STAGE 2 DEVELOPMENT  
Gough Street, Cremorne

Prepared for  
**Caydon**

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- B VHR citation for Nylex Sign**
- C B4 and B5 photos of interiors**
- D External photos of Richmond Maltings**
- E Reasonable and economic use report**
- F Historical Archaeological Assessment**
- G Methodology for works**

## **1.0 Introduction**

This statement of heritage impact (HIS report) has been prepared on behalf of Caydon Cremorne Developments Pty Ltd, and accompanies two Heritage Victoria permit applications for proposed works and development to the Richmond Maltings, Gough Street, Cremorne (VHR 2050), also known as Barrett Burston Maltings; and the Nylex Sign, Gough Street, Cremorne (VHR 2049). The Nylex Sign is located on the Richmond Maltings site.

The VHR citations for both heritage places are attached to this report at Appendices A and B respectively. The building numbers cited here (B1, B2, etc), match those in the VHR citation for Richmond Maltings.

Note that the photographs of buildings and elements included in this report and in Appendices C and D are by Lovell Chen, unless otherwise stated, and have been taken over a long period. In recent times, access to the buildings is generally more restricted, and hence some older images are included.

### **1.1 Staged development**

#### *1.1.1 Stage 1*

A permit application for the Stage 1 development of Richmond Maltings was lodged with Heritage Victoria in June 2015. The proposal was – and remains - focused on the east end of the site. The June 2015 permit application was lodged as the first stage (Stage 1) of a larger development, with the remainder of the development subject to a future permit application (Stage 2).

The current permit applications for Richmond Maltings and the Nylex Sign, as addressed in this HIS report, constitute the Stage 2 development. The staged approach was adopted by the applicant to assist in the development funding of the project and on the basis of the perceived lesser heritage and planning approval's sensitivity of the eastern end of the site.

On 8 January 2016, the Executive Director advised the applicant, Caydon Cremorne Developments Pty Ltd, that the permit was refused. Subsequent to that, an appeal was lodged in relation to the refusal, with a hearing before the Heritage Council set down for 23 and 24 June 2016. Amended Stage 1 plans are before the Heritage Council, which are modified from the June 2015 permit application.

The amended Stage 1 works in summary are as follows:

Existing buildings:

- Demolish B1 and B2, brick walls to Gough and Cremorne streets.
- Demolish the majority of B3, while retaining the front wall to Gough Street.
- Demolish the south bay to B4, and remove extraneous elements from the building elevations, including the east elevation.
- Remove various elements from the east end of the site including modern piping, plant, minor structures/additions and other extraneous elements.

New buildings and works:

- Two level basement car park.
- Building comprising offices and apartments (3 storeys), with a direct address to Gough Street and separated from the east of B4 by a new internal north-south pedestrian laneway.
- Building to the south-east side of B4 (3 storeys, connecting to taller building to its south).
- Building in the north-east of the site, to the corner of Gough and Cremorne streets (13 storeys).
- Building in the east of site and projecting westwards to south side of B4 (16 storeys), with an elliptical massing.

Landscaping is proposed to the open spaces and laneways of the development area.

### 1.1.2 Stage 2

As noted, the current proposal for Richmond Maltings and the Nylex Sign relates to the second stage (Stage 2) of a substantial redevelopment. Stage 2 proposes retention and adaptation of existing buildings; demolition and part demolition of existing buildings; construction of new buildings and associated multi-level basement carpark; and landscaping. The majority of the proposed demolition works are permit exempt. The redeveloped site is proposed to be predominantly residential, with some commercial office, retail and hospitality use.

Stage 2 also proposes to temporarily remove the Nylex Sign from the top of the 1960s silos, and reinstate it in working order atop a new apartment building in the same location.

## 1.2 Richmond Maltings

Richmond Maltings is located in Gough Street, Cremorne, on the north side of the Yarra River. It is bounded by Harcourt Parade (and the ramp entrance to the Monash Freeway) to the south; a triangular area of land abutting Hoddle Street to the west; Gough Street to the north side; and Cremorne Street to the east. The Nylex Sign, atop the 1960s silos building, is included in the property boundary. Appendix D to this report includes photographs of the exterior of the maltings site.

Richmond Maltings comprises a range of buildings and structures dating from 1880 to the 1960s, including former malt houses, malt and barley storage facilities (including silos), office and laboratory facilities, and associated plant. The buildings vary widely in terms of their form, footprint and scale, with single-storey through to multi-storey buildings, including tall silos of the 1950s and 1960s. Face brick and concrete are typical building materials.

The extant malt houses date from different eras and operational phases, and were associated with different malting technologies. Individually they retain to a greater or lesser degree evidence of the principal stages of the malting process - storage, steeping, germinating, drying (kilning) and bagging. The remnant buildings have also been subject to varying degrees of external and internal alteration and extension, chiefly to accommodate introduction of new plant and equipment, an upgrade in technology, or the removal of fabric and machinery to provide spaces for new uses within the buildings. A multitude of extraneous items have additionally been added to the exteriors of the buildings, and to site generally, including conveyors, gantries, bridges, piping, services, plant, skillion attachments and minor structures.

The overriding experience of the maltings site is of a highly developed and evolved place.

## 1.3 Nylex Sign

The Nylex Sign dates from c.1962 when Moulded Plastics Australia Pty Ltd, the company which owned the rights to the 'Nylex' name, constructed the sign on the (then) partially completed concrete silos. Other signage was also attached to the silos. The Nylex Sign is a double-sided sky-sign, mounted on a cross-braced frame of steel L-section angles, approximately 15 metres high.

The sign proper consists of a rectangular substrate with the words 'Nylex Plastics', surmounted by a LED digital clock/temperature gauge display (the latter is not original). The word 'Nylex' is formed by individual metal trough sans serif letters, painted white, each about 2.5 metres high and containing rows of light bulbs. The word 'plastics' is composed of metal trough serif lettering, approximately one metre high, illuminated by Neon tube. The word 'plastics' has a secondary layer of Neon tubing, without metal trough backing, which spells out the phrase 'every time'.



Figure 1 Richmond Maltings property at 2 Gough Street, Cremorne  
Source: Land Victoria.



Figure 2 Recent aerial image of the Richmond Maltings site; the location of the Nylex Sign is indicated  
Source: Nearmap



Figure 3 Site plan; the location of the Nylex Sign is indicated  
 Source: Hede architects, 2005

**1.4 Plans and documentation lodged with the applications**

The following plans and documentation are lodged with the two permit applications, and referred to in this report. Some are lodged for information only, while others are lodged for endorsement.

The plans and documentation have variously been prepared by:

- Fender Katsalidis Architects (FKA)
- Lovell Chen (LC)
- Oculus

Other documents and reports of relevance are also indicated in the table.

Table 1 Summary of plans and documentation

Plans and documentation	Prepared by
<i>Site plans</i>	
Existing conditions/site plans/area subject to Stage 2 development	FKA, LC
<ul style="list-style-type: none"> <li>• TP001</li> <li>• TP051</li> <li>• TP054</li> <li>• HV_B6B80</li> <li>• HV01</li> </ul>	
Buildings/components proposed for demolition/partial demolition	FKA, LC
<ul style="list-style-type: none"> <li>• TP002</li> </ul>	



<b>Plans and documentation</b>	<b>Prepared by</b>
New buildings/proposed site plan <ul style="list-style-type: none"> <li>• TP003</li> <li>• TP053</li> </ul>	FKA
<i>New buildings</i>	
Plans, elevations and sections <ul style="list-style-type: none"> <li>• TP097 – TP100</li> <li>• TP102 – TP119</li> <li>• TP122</li> <li>• TP200 – TP208</li> <li>• TP220 – TP223</li> </ul>	FKA
Materials and colour schedules <ul style="list-style-type: none"> <li>• TP209</li> </ul>	FKA
<i>Heritage buildings (B4, B5, B6, B8 and B11)</i>	
Existing conditions including roof plans <ul style="list-style-type: none"> <li>• TP052-TP053</li> <li>• HV02 – HV08</li> <li>• HV_B600 – HV_B605</li> <li>• HV_B8001 – HV_B8002</li> </ul>	FKA, LC
Demolition plans (internal and external) <ul style="list-style-type: none"> <li>• TP052</li> <li>• TP260</li> <li>• HV_B600</li> <li>• HV_B601 – HV_B605</li> <li>• HV_B8001 – HV_B8002</li> <li>• HV02 – HV08</li> </ul>	FKA, LC
Plans and all elevations showing proposed works <ul style="list-style-type: none"> <li>• TP147 – TP155</li> <li>• TP250 – TP253</li> <li>• HV10 – HV32</li> <li>• HV60 – HV61</li> <li>• HV_B8001 – HV_B8002</li> </ul>	FKA, LC
New roof plans <ul style="list-style-type: none"> <li>• TP158</li> <li>• HV05</li> <li>• HV_B8001</li> </ul>	FKA, LC
Sections <ul style="list-style-type: none"> <li>• HV40 – HV42</li> </ul>	FKA, LC
Materials and colour schedules <ul style="list-style-type: none"> <li>• TP260</li> <li>• HV70 – HV72</li> </ul>	FKA, LC

<b>Plans and documentation</b>	<b>Prepared by</b>
<i>Nylex Sign</i>	
Plans and elevations showing proposed location of relocated sign <ul style="list-style-type: none"> <li>• TP119</li> <li>• TP122</li> <li>• TP224</li> </ul>	FKA
<i>Landscape</i>	
LP01 – Ground Floor Plan, 7 June 2016	Oculus
LP02 – Level 2 Residential Amenities Plan, 7 June 2016	Oculus
<i>Historical archaeology</i>	
Richmond Maltings Desktop Historical Archaeological Assessment (September 2015), attached as Appendix F	Green Heritage
<i>Reasonable and economic use report</i>	
Independent Report on Economics of Development (July 2016), attached as Appendix E	Roger Gibbins, of SC Lennon & Associates
<i>Methodology for works</i>	
The Richmond Maltings Redevelopment: Alterations to Existing Heritage Elements (June 2016), attached as Appendix G	Irwin Consult

Note: photomontages and 3D images, prepared by Orbit Visualisation, are in preparation and will be forwarded in support of this application in the week commencing 27 June 2016.

## 1.5 Appendices to this report

Attached to this report are the following appendices:

- A VHR citation for Richmond Maltings
- B VHR citation for Nylex Sign
- C B4 and B5 photos of interiors
- D External photos of Richmond Maltings
- E Historical Archaeological Assessment
- F Reasonable and economic use report
- G Methodology for works

## 1.6 Conservation Management Plan

Reference is also made to the *Richmond Maltings Complex, Gough Street, Richmond: Conservation Management Plan* (Lovell Chen, October 2005). The CMP includes a history of the site, descriptions and histories of the individual buildings and site components, an analysis and assessment of significance, and policies relating to the site overall as well as individual buildings.

## 2.0 Heritage listings

### 2.1 Victorian Heritage Register

The following reproduces the statements of significance, permit policies and permits exemptions for Richmond Maltings and the Nylex Sign. The policies and exemptions are referred to in more detail below in this HIS report.

### 2.1.1 *Richmond Maltings*

Richmond Maltings is included in the Victorian Heritage Register (VHR) maintained by the Victorian Heritage Council (VHR 2050), as a 'heritage place' and an 'archaeological place'. A copy of the citation is included at Appendix A. The VHR statement of significance is as follows:

#### *What is significant?*

The Barrett Burston Richmond Maltings site was initially developed as a brewing and malting site in the 1850s-60s. By 1879 brewing had entirely given way to malting which continues on the site today.

Malt is an artificially germinated grain, usually barley, with germination arrested at a critical point by kilning. By this process the starch stored up in barley is converted into sugar, one of the principal constituents after fermentation of beer. The complex consists of malt houses, stores, silos (including the illuminated Nylex sky sign and clock) and offices. The earliest surviving malt house on the site is the Temperley, Edwards & Badger designed building of 1880 which formerly housed a process based on the French Galland pneumatic system, one of the earliest uses of this malting technology in Australia. This malt house was extended in 1912 and 1918, and following a fire in December 1950 a modern Saladin box system was installed replacing the Galland process. In 1903, a new malt house designed on the older, floor malting process, was constructed. Another two substantial floor malt houses were constructed in 1920 and 1928, and an office building in 1922. By the late 1930s the 1860s former brewery malt house was replaced with a new pneumatic malt house and in 1939 a new store constructed. In 1942 a second pneumatic malt house was constructed on the north side of Gough Street but this was converted to offices in the 1980s and is currently leased by Barrett Burston as its Australian headquarters. In 1952 a building was constructed to house six pneumatic malting drums imported from the United Kingdom, the first of this type of system to be installed in a maltings in Victoria. The landmark 11 concrete silo barley store was erected in 1952. In the 1950s and 1960s a continuing process of mechanisation of the site took place, and further malting and storage capacity added, with a new Saladin box malt house fronting Gough Street (1956) on the site of the 1860s malt house, and more large concrete barley silos fronting Harcourt Parade (1960-62).

The important malting companies operating on the site have been Smith, Winn & Fielding, maltsters, which operated until 1901, when it became Smith, Winn & Co. In 1906, Smith McDonald & Co, took over the 1880 malt house, and Barrett Bros, a substantial sale (as opposed to brewing) maltster company, took over the balance of the site until 1926, and also operated a 1860s malt house adjoining until 1936. In 1912, the company Smith, Mitchell & Co was formed to take over the 1880 malt house. In 1926 it acquired the balance of the site. In 1941 Smith, Mitchell & Co Pty Ltd, became a public company and further expanded the site. In 1972 it was taken over by Barrett Bros & Burston Co Pty Ltd, one of the two largest malting companies in Australia. Barrett Burston currently operates the site.

#### *How is it significant?*

The site is historically, scientifically (technologically), aesthetically, socially and archaeologically significant to the State of Victoria.

#### *Why is it significant*

The Barrett Burston Richmond Maltings site is historically significant as the oldest surviving independent sale (as opposed to brewing) maltster site in Australia. It has

been continuously associated with the brewing and malting industry since 1852. It is the earliest and most intact of the four remaining nineteenth century sale maltster sites still operating in Victoria, the others being the former James Hood & Co site, Islington Street, Collingwood (1878), the Barrett Burston Gibdon Street site, Burnley (1892), and Joe White Maltings, Gregory Street site, Ballarat (1898).

The site is historically important for its strong associations with significant malting companies such as Smith, Mitchell & Co, which developed and operated the site between 1912 and 1972, and Barrett Burston, one of the largest malting companies in Australia. The site is of historical interest for its association with Charles Smith, who was involved in the site until his death in 1903. Smith, one of the earliest sale maltsters in Victoria, was Mayor of Richmond 1873-74 and Lord Mayor for Melbourne 1883-84, and was a member of the Legislative Assembly.

The Barrett Burston Richmond Maltings site is scientifically (technologically) significant for its pivotal role in understanding the industrial production of malt both by the pneumatic and the floor processes. The 1880 malt house is the only nineteenth century pneumatic malt house surviving in Australia, and is of outstanding technological significance as one of the earliest pneumatic malt houses in the world. While the building was substantially re-modelled following fires in 1950 and again in 1965, the existing mechanised Saladin box process with two parallel germinating boxes and perforated floors is very similar to the original Galland box process described in the opening of the malt house in 1880.

The 1920 malt house, with its low floor to ceiling height of 9 feet, a large open concrete floor, with open store room above, and timber louvred windows set opposite each other in the side walls to control air flow, is scientifically (technologically) important for its demonstration of many of the essential characteristics of a traditional floor maltings. While once relatively common in Victoria, with many having been demolished and others adapted to pneumatic malting systems from the 1930s onwards, or adapted to alternative uses, it now represents a very rare surviving example of its type.

The 1952 pneumatic drum malting building, originally built with six drums imported from the United Kingdom, later replaced by drums constructed in Victoria by Vickers Ruwolt Pty Ltd, demonstrates the earliest use of this malting technology on a sale maltster site in Victoria. The 1939-40 building for storing barley was supplemented in 1952 by 11 concreted silos, which represent an early surviving example of this form of barley storage system on a sale maltster site in Victoria with only the 1937 silos in Abinger Street Richmond (now converted to residential use) being older.

The Barrett Burston Richmond Maltings site is aesthetically and socially significant as a substantial Melbourne landmark. This collection of four brick malt houses dating from 1880, 1920, late 1939s and 1942 together with the 1952 and 1960s concrete silos present a distinctive industrial aesthetic, which has formed a significant part of the townscape of Richmond, the adjoining River Yarra and South Yarra, for many years. Three of the malt houses retain distinctive external evidence of malt kilns, a feature found on only two other remaining malt houses in Victoria. The 1952 and 1960s concrete silos by reason of their height scale and bulk visually dominate the immediate townscape, and are also viewed over a wide distance in eastern Melbourne. Together with the Nylex Sign, which sits atop the silos, they have become a significant cultural iconic feature in the Melbourne landscape and psyche and even feature in the song *Leaps and Bounds* by musician Paul Kelly.

The Barrett Burston Richmond Maltings site is archaeologically significant not only for its visible remnants of the malt houses constructed in 1903 and 1928 but also for the potential archaeological remains of the brewing buildings of the 1852 Cremorne Brewery and 1860s malt house.

The extent of registration is as follows:

All the land marked L1 and L2 on Diagram 2050 held by the Executive Director and all the buildings and structures marked as follows on Diagram 2050 held by the Executive Director (see copy at Figure 4):

- B1 1928 malt house wall
- B2 1903 malt house wall
- B3 1922 and later office building
- B4 Late 1930s malt house
- B5 1880 and later malt house
- B6 1920 malt house and mid 1920s extension
- B7 1952 drum malt house
- B8 1952 concrete silos
- B9 1960-62 concrete silos
- B10 1956 and later malt house
- B11 1939-40 barley store
- B12 1942 malt house

The permit policy and permit exemptions for Richmond Maltings are not reproduced here, but are referred to below in Section 5.0 and included in Appendix A.

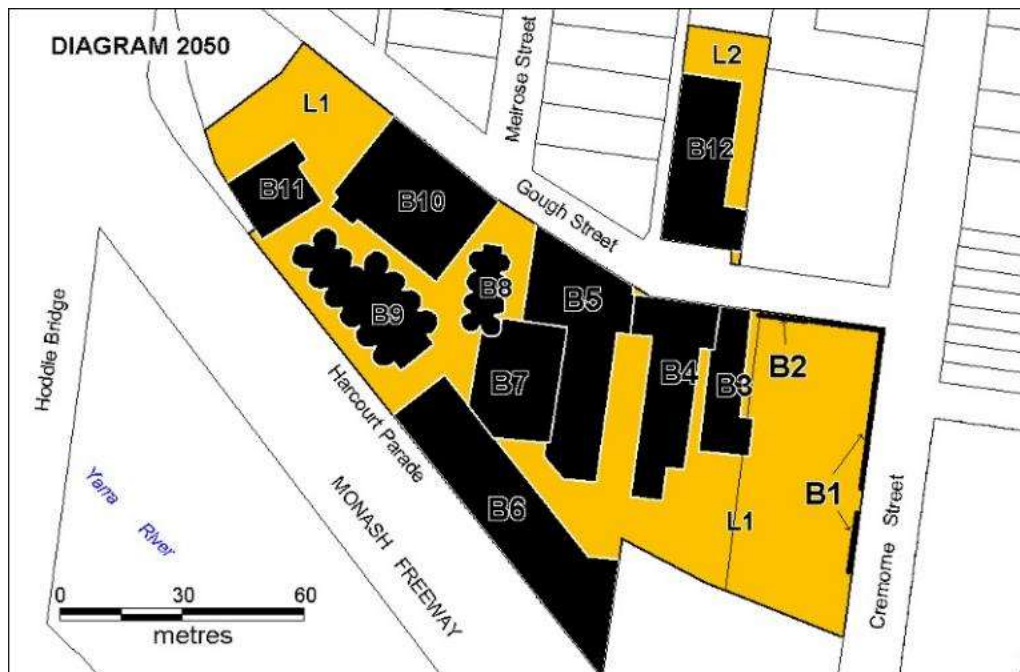


Figure 4 Heritage Victoria extent of registration  
Source: Victorian Heritage Database

### 2.1.2 Nylex Sign

The Nylex Sign is included in the Victorian Heritage Register (VHR) maintained by the Victorian Heritage Council (VHR 2049), as a 'heritage place'. A copy of the citation is included at Appendix B.

The VHR statement of significance is as follows:

#### *What is significant?*

Erected in 1961 on top of the No2 Silos of the Richmond Maltings, Gough St, Richmond, the Nylex sign is a double sided sky-sign mounted on a cross braced frame of steel L-section angle, approximately 15m high. The sign itself consists of the words NYLEX PLASTICS and is crowned by an LED thermometer display/clock. The word NYLEX is formed by metal trough sans serif letters illuminated by single rows of light bulbs. The word PLASTIC is formed by metal shallow trough serif letters outlined in Neon tubing. The word Plastics is overlaid with Neon tube lettering, without backing, spelling EVERY TIME.

#### *How is it significant?*

The Nylex sign is of social and historical significance to the State of Victoria.

#### *Why is it significant?*

The Nylex sky-sign is of historical significance as one of a collection of signs marking Victoria's industrial heritage in Richmond. Richmond has the greatest concentration of surviving sky-signs in the state. Of all the signs, which include the Skipping Girl, Victoria Bitter, Slade Knitwear and the Pelaco signs, the Nylex sign is the most prominent. These large sky-signs which used to be a prominent feature of the Melbourne skyline are increasing in rarity with the demolition of such notable signs such as Allen's at Southbank and Atlantic Ethyl and Shell Petroleum's rolling dice at St Kilda Junction. The Nylex sign is of further rarity as it the only major sky sign in Melbourne that uses such a range of lighting media.

These signs have strong associations with the industrial base of the former City of Richmond, important in the economy of Melbourne but which also contributed to the well being of the national economy. Nylex, the largest plastics manufacturer in Australia, and the first to be established (1927), grew from premises below the sign in Cremorne Street.

The Nylex sign is of social significance for its landmark qualities. The sign dominates the view along the major thoroughfares of Punt Road and Hoddle Streets and because of its location at the entrance to the South Eastern Freeway the Nylex sign is considered the unofficial gateway into Melbourne. The clock and temperature display is a constant point of reference for residents and motorists.

This recognition factor has entered the sign as a part of popular culture and has given the sign an iconic quality. Its mention in the Paul Kelly song Leaps and Bounds has given the sign an identity that extends beyond Melbourne.

The extent of registration includes all of the sky-sign known as the Nylex sign and its supporting structure marked B1 on Diagram 2049 held by the Executive Director.

The permit policy and permit exemptions for the Nylex Sign are not reproduced here, but are referred to below in Section 5.0 and included in Appendix B.

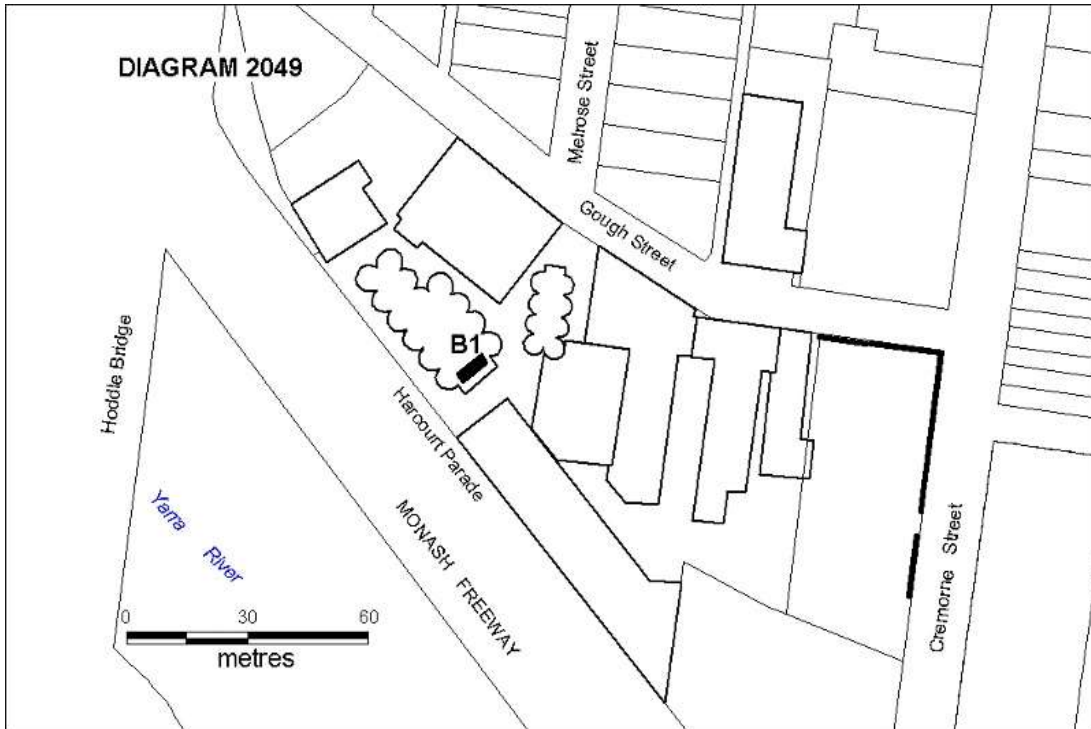


Figure 5 Heritage Victoria extent of registration (shown as B1)  
Source: Victorian Heritage Database

## 2.2 Heritage Overlay

Richmond Maltings and the Nylex Sign are included as HO350 in the Schedule to the Heritage Overlay of the Yarra Planning Scheme (Figure 6). Pursuant to Clause 43.01 of the Planning Scheme no permit is required under the Heritage Overlay for development of heritage places included in the VHR.

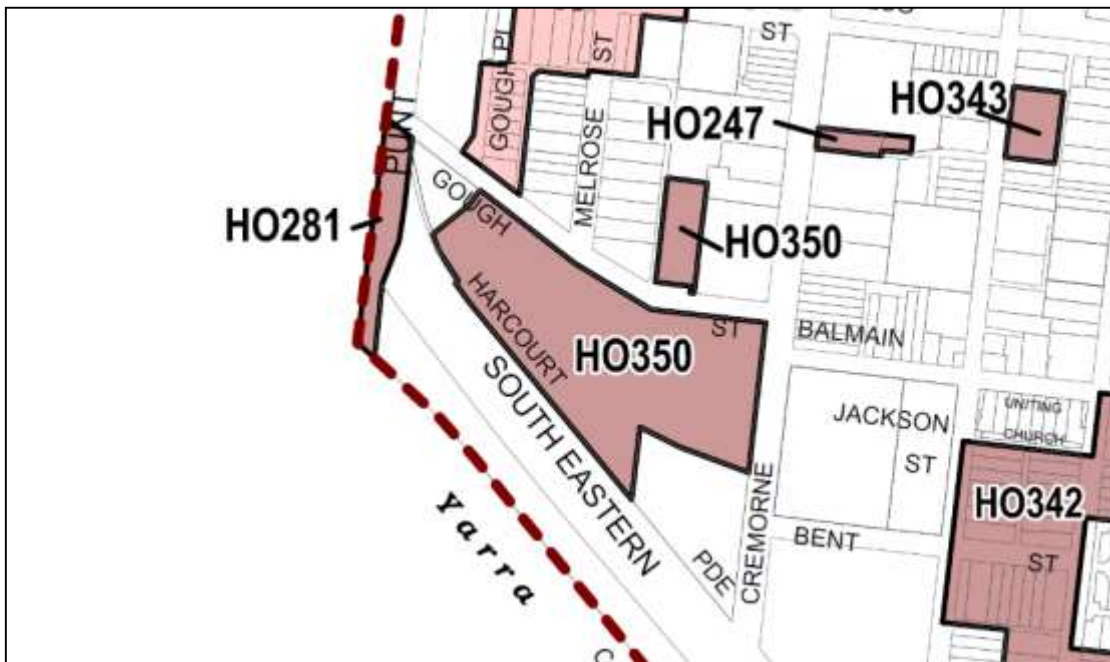


Figure 6 Extract of the Yarra Heritage Overlay map showing the extent of HO350  
Source: Yarra Planning Scheme, Planning Scheme Online

### **2.3 National Trust**

Both Richmond Maltings ('The Cremorne Malting') and the Nylex Sign are included as one place in the National Trust of Australia (Victoria) Register (file B7204), and classified as a site of state significance.

### **3.0 Other planning considerations**

Richmond Maltings is zoned Comprehensive Development Zone Schedule 3 (CDZ3), and is subject to a City of Yarra incorporated document entitled 'Planning and Design Principles for the Richmond Maltings Site, Cremorne, November 2007'. The document comprises a plan showing building envelopes, building heights, setback dimensions, pedestrian access/circulation, public plazas, and a set of planning and design principles for the site. For the east and west ends of the site, the plan shows a maximum building height of RL 38.0, however a permit can be granted to vary this height even if the variation is not minor.

### **4.0 Adjacent site**

A three level building (Beaver Packaging, not included in the subject site or on the VHR) immediately abuts the Richmond Maltings property at the south-east corner, at the junction of Cremorne Street and Harcourt Parade. This property has an existing development approval from the City of Yarra for a nine storey (38.5 metre) office building; and is currently subject to a revised development application for a 14 storey (47.85 metre) mixed use development. The future development of this site is referred to as Stage 3, but again is not subject to Heritage Victoria approval.

### **5.0 Overview of Stage 2 proposal and assessment of heritage impacts**

This section of the report identifies and describes the proposed works, and includes an assessment of heritage impacts (generally included as 'comment'). It commences with an overview of the Stage 2 development, followed by reference to the relevant permit policy and permit exemptions, and previous approvals. This is then followed by reference to the proposed works to the individual heritage buildings, and the Nylex sign; the proposed new buildings and landscaping; and relevant CMP policies. Reference is also made to the appendices to this report, including the historical archaeological assessment and the report on reasonable and economic use.

Building descriptions are also included below.

#### **5.1 Overview of Stage 2 proposal**

Stage 2 proposes retention, conservation and adaptation of existing buildings; demolition and part demolition of existing buildings; construction of new buildings and associated multi-level basement carpark; and landscaping. Some interpretation is also incorporated into the works. The Nylex Sign is also proposed for temporary removal and later reinstatement in working order. The redeveloped site is proposed to be predominantly residential, with some commercial office, retail and hospitality uses.

The principal components of the Stage 2 development are as follows:

- Retention and adaptation of existing buildings B4, B5, B6 and B8
- Conservation works to buildings B4, B5, B6 and B8
- Demolition of buildings B7, B9, B10 and B11
- Construction of new buildings
- Landscaping
- Temporary removal, storage and reinstatement of the Nylex sign in working order, atop the proposed apartment building in the location of the demolished B9 silos and B11 building

The majority of the proposed demolition works are permit exempt.

In addition to the above:

- Externally, extraneous items such as services, pipe work, conveyors and other elements of modern industrial processing will be removed from the site.



- Internally, non-original partitions, joinery and fitouts will be removed from the retained buildings.
- Where machinery and equipment is retained, it will be painted in original colours.
- Where demolition is proposed, materials will also be salvaged for repairs and reuse across the site.

Regarding proposed adaptation of the retained heritage buildings, not all future uses or future fitouts are fully resolved for the internal spaces, and accordingly indicative uses and layouts are generally shown on the plans. Accepting this, the overall approach to retention of internal elements, and the future presentation of the buildings' interiors, is shown on the plans and described below.

## 5.2 Permit policy and permit exemptions

### 5.2.1 *Richmond Maltings*

The permit policy and permit exemptions for Richmond Maltings are included in full at Appendix A.

#### **Permit policy**

The permit policy provides guidance, in addition to the statement of significance, on what Heritage Victoria regards as important attributes of the site, and how these will be considered in the event of a permit application. The policy where relevant to this application states (paraphrased and summarised):

- Elements identified in the extent of registration contribute in a fundamental way to the historical, technological, architectural, social and cultural significance of the site. While most buildings have been altered and are not intact, they retain external and internal features that demonstrate the function of the buildings and the site.
- Richmond Maltings buildings demonstrate different processes used for producing malt, including traditional floor malting [B6], pneumatic malting [B4], salad boxes [B5] and drums [B7]. The storage of barley and malt, important to the process of manufacture, is demonstrated by the 1939-40 storage building [B11], 1952 [B8] and 1960s [B9] silos. The form of the buildings and surviving exterior and interior fabric and features demonstrate these processes.
- The 1920s Malthouse [B6], retains the expansive rectangular concrete germinating floor, low floor to ceiling heights, window openings with timber louvres in the side walls for controlling airflow, and an open first floor storage area, which demonstrates the floor malting process.
- The 1880 malt house [B5], including the layout of parallel Saladin boxes with perforated floors, underfloor culverts and associated machinery, steeples, grain storage and kilns, illustrate the original pneumatic process.
- The late 1930s former pneumatic malt house [B4] retains fabric and elements that permit an understanding of the original layout, use and functions. These include the original steeples to the first floor with grain hoppers over, and grain and malt storage compartments and machinery to the top floor.
- It is acknowledged that within the features identified in the extent of registration, particularly some later additions and alterations in the 1960s, that there exists scope for works, alteration and adaption to any given feature without diminishing the overall significance of the place.

**Comment:** The permit policy for Richmond Maltings acknowledges that the site is an extensive complex of industrial buildings, which demonstrate different processes in the manufacture of malt. The policy also recognises there is scope to undertake works within the site, including alteration 'to any given feature', without necessarily diminishing the overall significance of the heritage place. This is also recognised in the permit exemptions (see below), which allow for demolition and removal of buildings and elements.

With the proposed Stage 2 development, a combination of building retention, partial demolition and full demolition is proposed. Adaptation and conservation are also proposed for the retained heritage

buildings, as is a comprehensive landscaping scheme which is sympathetic to the heritage character of the site.

In terms of maltings processes, and with reference to the buildings cited above, B4, B5 and B8 are being substantially retained, while B6 is being partly retained. These buildings demonstrate aspects of maltings processing and storage, as undertaken on this site from the 1880s to the 1950s. This is a significant representation of existing maltings-related buildings being retained. Importantly, the proposed adaptation of these buildings also retains a significant representation of their internal fabric and machinery.

### **Permit exemptions**

The permit exemptions 'exempt' a range of internal and external works from the requirement for a permit from Heritage Victoria. These include those of a standard/generic nature not specifically tailored to this site, and permit exemptions which relate to specific buildings within the site. Those of relevance to the Stage 2 application are as follows:

- Removal of extraneous items such as external lighting, pipe work, ducting, wiring, antennae, aerials etc, and making good.
- Removal of non-original stud partition walls, suspended ceilings or non-original wall linings, doors, windows, bathroom partitions and tiling, sanitary and kitchen fixtures, fittings and equipment, lights, built-in cupboards, cubicle partitions, computer and office fitout and the like.
- Demolition of the 1952 drum malting building [B7].
- Demolition of the 1960-62 and later silos [B9].
- Demolition of the 1956 pneumatic maltings [B10], subject to an assessment of the archaeological potential of the site of the former 1860s malt house.
- Removal of the partitions to the ground floor workshop, and the removal of the laboratory area and staff amenities room to the first floor [B4].

The exemptions require a full recording of the subject buildings prior to demolition.

The permit exemptions also note:

- If there is a conservation policy and plan approved by the Executive Director, all works shall be in accordance with it.

**Comment:** With regard to the last point, and as noted, reference is made here to the 2005 *Conservation Management Plan*.

Regarding the buildings for which demolition is permit exempt, the Stage 2 development proposes their demolition, specifically the 1952 drum malting building [B7], 1960-62 and later silos [B9], and 1956 pneumatic maltings [B10]. These demolitions are commented on in further detail below. Stage 2 also involves removal of extraneous and minor elements, as identified above, and works to the ground and first floors of the late 1930s former pneumatic malt house [B4]. The requirement to undertake an assessment of the archaeological potential of the site of the former 1860s malt house, is also acknowledged in the *Richmond Maltings Desktop Historical Archaeological Assessment* (September 2015, attached as Appendix F to this report), which is submitted with this application.

#### **5.2.2 Nylex sign**

The permit policy and permit exemptions for the Nylex Sign are included in full at Appendix B.

### **Permit policy**

The permit policy is as follows:

The purpose of the permit exemptions is to allow works that do not impact on the significance of the heritage place to occur without the need for a permit. The significance of the Nylex sign lies predominantly in its location and position. Any

alterations that impact on the significant built fabric of the sign, its structure and its position and location will require a permit.

**Comment:** The permit policy emphasises the importance of the ‘location and position’ of the sign. This is effectively maintained with the Stage 2 proposal, albeit the sign is proposed to be positioned higher on the new building. The top of the sign is currently at AHD59.25; in its relocated position it is proposed to be at AHD75.08. The works to the sign are commented on in more detail below at Section 5.5.

### Permit exemptions

The Heritage Victoria citation for the Nylex sign also includes permit exemptions:

- Minor repairs and maintenance which replace like with like.
- Replacement and repair of power supply and electrical circuitry.
- Replacement of light globes.
- Maintenance and repair of Neon tubing.
- Maintenance and repair of the metal lettering.
- Maintenance and repair of support structure.

**Comment:** The exemptions provide for ongoing repair and maintenance of the sign. As part of Stage 2, the sign is proposed for temporary removal, storage and re-instatement in working order (including the temperature and time components) at the redeveloped site. In regards to future maintenance and operation, the proponent Caydon, has entered into an agreement with an energy supply company for the ongoing provision of power to the sign, and to undertake ‘regular preventative maintenance’ to ensure the sign remains ‘functional and operational’.<sup>1</sup>

### 5.3 Previous approvals

In June 2007 Heritage Victoria Permit issued permit P11806, for a range of works and development at Richmond Maltings. Lovell Chen prepared the Heritage Impacts Statement (May 2007), which accompanied the application to Heritage Victoria. The permitted works included conservation and adaptive reuse of existing buildings, but did not propose any major new development. As with the current application the works were to be staged and the 2007 permit addressed the first stage of a projected multistage project.

The permitted works, as relevant to the current application, included:

- Demolition of buildings B7 and B10.
- Refurbishment/adaptation of building B4 for office use.
- Alterations to the front facade of building B5.
- Refurbishment of building B11 for office use.
- Removal of non-original accretions to buildings, skillion attachments, gantries, bridges, sheds and secondary structures across the site.
- Limited removal of original fabric in remaining buildings.

In 2012, another permit was issued, P11839, for a similar range of works. This permit also approved landscaping to the Richmond Maltings site, with new landscaping in the centre and western areas of the site. The landscaping included bluestone paving, gravelled surfaces, recycled timber seating, stone stepping, and remnant industrial elements retained amidst new tree plantings and concrete garden planters. The May 2007 Heritage Impacts Statement was submitted with the 2012 permit application, and was endorsed by Heritage Victoria under P11839.

**Comment:** Aspects of the previously approved works of 2007 and 2012 are largely consistent with the current Stage 2 proposal, including the demolition of buildings B7 and B10; refurbishment/adaptation of building B4 (in part) for office use; works to the north side and facade of building B5; removal of non-original accretions to buildings, together with skillion attachments, gantries, bridges, sheds and secondary structures across the site; and limited removal of original fabric in remaining buildings. In this

instance, building B11 is proposed for demolition, otherwise these aspects of the Stage 2 proposal are largely consistent with the previous approvals.

## **5.4 Proposed works to heritage buildings<sup>2</sup>**

### *5.4.1 B4 Late 1930s malt house*

This building is illustrated at Figure 7 to Figure 12. The interiors are illustrated at Appendix C.

The 2005 CMP identified B4 as being of primary significance, with historical, architectural and some technological (scientific) significance.

B4 is a pneumatic malt house of the interwar period, which has been modified and extended. It is a three-storey brick building on a T-shaped plan, with a pitched roof clad in corrugated iron. It comprises an elongated former 'pneumatic plant' with a substation at the north end and a small single-storey bay at the south end. More recent single-storey brick additions abut the south-east of the building. The north end (at the top of the 'T') has a barrel vaulted ridge vent with kiln roof towers behind the ridge. The kilns have been removed and the area appropriated by the substation and a switch room. The upper level at the north end has been extended on the west side. Also on the west side is a large elevated overhead bulk loading bins hopper, which connects to the adjacent 1880s malt house [B5], and is believed to date from the 1950s.

### **Proposal**

Proposed new uses of B4 include display zones associated with the 'slice' (see below), office use, and a bakery/retail space at the north end of the building.

Proposed external works:

- West elevation: at ground floor level windows and fabric will be removed and new wider openings introduced, with steel-framed glazing; at first floor level some wall fabric and louvred and vented windows will be removed.
- East elevation: at ground and first floor levels, brick infill will be removed from existing openings and windows re-instated.
- North elevation: limited change is proposed, save largely for the steel vehicle roller door on the west side of the elevation, which is proposed for removal and replacement with opening to a semi-public laneway. The existing 'SMITH MITCHELL' signage above the vehicle opening will be retained.
- South elevation: the single-storey bay is proposed for removal with the gabled elevation to be made good.
- Roof: the existing form of the roof will substantially be retained, including the distinctive barrel vaulted ridge vent with former kiln roof towers behind, at the north end of the building. The roof will be reclad with fibre cement sheet profiled to match the original detail.
- The 1950s elevated overhead bulk loading bins hopper, which connects to B5, is being retained.
- A 'slice' or 'slice through' is proposed for the southern part of B4, of 2.27 metres width. This involves the removal of internal and external fabric, including roof, effectively creating a uniform opening in the building from its east to west side, and from the ground level to the top of the building. The opening will connect with an access or through way to the east, proposed as part of the Stage 1 development. It will also connect with a similar and aligned 'slice' proposed for B5.

Proposed Internal works:

- Removal of non-original partitions and fitout at ground and first floor levels. The substation and switch room at the north end will be retained. At first floor level, the timber hoppers and concrete steeps will be retained at the south end. On the second floor, the conveyor will be retained at the south end, together with the majority of the timber partitioned barley/malt

storage boxes with the catwalk over in the main part of the floor. Existing equipment at the north end of this level will also be retained in part.

The following are also proposed:

- Conservation works including repairs, repointing and reinstating or rebuilding brickwork.
- Removal of extraneous external items such as modern services, pipe work, conveyors and the like.
- Removal of internal non-original partitions, joinery and fitouts.
- Where machinery and equipment is retained, it will be painted in original colours.
- The Lovell Chen drawings which identify proposed demolition also indicate where salvage of demolished materials is proposed. For instance, the fabric removed with the 'slice' will be salvaged.

### **Comment**

Internally, the ground and first floor spaces of B4 offer opportunity for adaptation, and the proposed works to these spaces, including the introduction of partitions, will not result in adverse impacts. The second floor retains a greater extent of original fabric and plant, and accordingly the proposal for these spaces is more sensitive to the retention of heritage fabric, and maintenance of existing internal character, including the timber partitioned barley/malt storage boxes. The overall approach to adapting this building, and introducing new uses, achieves a sensitive balance between change and insertions, retention of important internal elements and fabric, and the reuse or recycling of existing elements.

The retention of the distinctive roof to B4 is an important outcome, which will maintain its external 'malt house' form and expression. This combines positively with the overall retention of the north façade to Gough Street, and the significant industrial presentation and contribution of the building to the streetscape character. The retention of the overhead bulk loading bins hopper at the upper level which connects with B5, is also a positive outcome, albeit one which maintains evidence of a later (1950s) process. Where changes are proposed to the exterior, these are generally minimised (save for the 'slice', see below), which limits the impacts. The openings are also required to support the proposed adaptive reuse.

Regarding the proposed 'slice' through the building, it is acknowledged that this is an unorthodox approach to intervention into a heritage building. Accepting this, the 'slice' provides a number of benefits. For example, it provides dramatic views into the display zone and building interiors and, through extending from the bottom to the top of the building, will reveal aspects of the building's internal workings and complexity that are otherwise not easily understood or appreciated.

Views available from the 'slice' will reveal a display zone/display workshop, with timber hopper and timber barley stores. The 'slice' also provides access through the building, connecting with B5 (see below), and to the surrounding landscaped open space and adjoining new development.

Somewhat counter-intuitively, the 'slice' will work to visually connect the severed parts of the historic building, creating strength in the way the two parts separate and play off each other. The greater part of this building is also retained, including its overall external form. In this way, the existing presentation of B4 will be substantially retained, notwithstanding the 'slice'.

This includes the industrial aesthetic qualities of the building which make an important contribution to the Gough Street streetscape, where B4 is a highly visible element of the site. The proposed conservation works will also enhance the appearance and presentation of the historic malt house.



Figure 7 B4, north elevation to Gough Street; the majority of this current form and appearance of the façade will be maintained, as will the barrel vaulted ridge vent to the roof



Figure 8 B4, east elevation (indicated by red arrow), as seen from the east on Gough Street; note the former kiln roof towers behind the barrel vaulted ridge vent, to be retained and re clad



Figure 9 B4, west elevation at right



Figure 10 B4, south end; the south bay (as indicated) is proposed for removal with the Stage 1 permit application; the building at right is the rear of B3



Figure 11 B4 roof with the kiln towers visible, and the south end gable at left; B3 is at right



Figure 12 Laneway on north of site, with B4 at right and B5 at left



#### 5.4.2 B5 1880 and later malt house

This building is illustrated at Figure 13 to Figure 16, with historic images at Figure 17 to Figure 20. The interiors are illustrated at Appendix C.

The 2005 CMP identified B5 as being of primary significance, with historical, architectural and technological (scientific) significance.

B5 is an 1880 pneumatic malt house which was modified following a significant fire in the 1950s, with works including the substantial reworking of the interiors and an addition to the top of the building, including brick vents to the north end. It is a three-storey bichromatic brick building on a bluestone plinth, with a hipped roof clad in corrugated asbestos cement. The building has a T-shape plan, comprising the 1880 elongated rectangular nave-like form with two narrow transepts at the northern end. The building has been engulfed on several sides, to varying degrees, by subsequent additions and later buildings including an altered 1918/19 single-storey addition to the north; a 1930s three-storey addition attached to the south of the 1880 building; and a 1952 pneumatic drum malt house [B7] adjacent to the west wall. On the east side is a large elevated overhead bulk loading bins hopper which connects to the adjacent 1930s malt house [B4], and is believed to date from the 1950s.

#### Proposal

Proposed new uses of B5 include display zones associated with the 'slice' (see below), hospitality/restaurant use, and a café at the north end of the building, with access to a new courtyard formed by substantial removal of the northern addition. The top level of the north end of the building will have office space.

Proposed external works:

- East elevation: various works proposed including the reinstatement of many original openings, through the removal of brick infill; and dropping existing openings at ground floor level and introducing new openings, to provide access to and from the east side of the building.
- North elevation: original openings will be reinstated at first floor level. At ground floor level the 1918/19 single-storey north addition will be removed, albeit retaining the north wall to Gough Street, with new penetrations made to the wall.
- West elevation: accepting that the condition of this wall is not yet fully known, the proposal is to substantially reinstate/reconstruct the original form of the elevation, save for large openings at ground floor level. To these, sliding glass access doors will be introduced, within a frame set off from the wall. The retained internal overhead conveyor at ground floor level will extend from the elevation, as an 'awning' above the new principal entrance on this side of the building. A contemporary steel-framed opening will also be introduced at the upper level of the elevation.
- South elevation: the 1930s addition will be retained, with external works including a combination of retaining/reinstating openings, together with making new openings. Translucent corrugated Polycarbonate roofing will replace the existing roof cladding. The large steel awning on the south side, which connects with B6, will be removed.
- Roof: this dates from the 1950s; the existing form will substantially be retained, including the expressed brick vents at the north end. The zinc clad popup structure located centrally to the north end will be removed. More generally, the existing cladding will be replaced with fibre cement sheet profiled to match the original detail. A new powder coated aluminium louvred screen will also replace the corrugated steel panels visible to the north roof elevation, to screen the proposed plant area.
- The 1950s elevated overhead bulk loading bins hopper, which connects to B4, is being retained.
- As per B4, a 'slice' or 'slice through' is proposed for the southern part of the building, of 3.07 metres width, which will largely separate the 1880 and 1930s components of the building. This involves removal of internal and external fabric, including roof, effectively creating a uniform opening in the building from its east to west side, and from ground level through to the top of

the building. The opening, although larger, will connect with the similar and aligned 'slice' proposed for B4.

Proposed Internal works:

- At ground floor level, the removal of the majority of the Saladin boxes, albeit a component of 4.12 metres depth will be retained at the south end, in association with the 'slice'. An overhead conveyor will be retained, as will the Saladin presses. At the north end, the steel hoppers will be removed, but the vaulted brick ceiling will be retained. On the upper levels, examples of the steeps will be maintained, again in association with the 'slice'; the timber hoppers will also be substantially retained, with the existing gangway on the east side. The kilns will be removed from the north end. Openings will be introduced into the internal walls of the brick vent shafts; the eastern shaft will accommodate a new lift.
- For the 1930s addition, the proposal is to remove most of the ground floor fabric of the building, and to open it up in part by way of a cantilever and an internal steel armature to create a covered courtyard bar area.

The following are also proposed:

- Conservation works including repairs, repointing and reinstating or rebuilding brickwork.
- Removal of extraneous external items such as modern services, pipe work, conveyors and the like.
- Removal of internal non-original partitions, joinery and fitouts.
- Where machinery and equipment is retained, it will be painted in original colours.
- The Lovell Chen drawings which identify proposed demolition also indicate where salvage of demolished materials is proposed. For instance, the fabric removed with the 'slice' will be salvaged.

### Comment

It is recognised that internal adaptation of this building is difficult, due to the presence of significant internal fabric and remnant equipment and machinery. However, as with B4, the approach to adaptation is to balance the extent of removal and retention of fabric, and to seek to reuse or recycle elements within the adaptation. The proposal for the interior of this building is not to 'box it up', or extensively partition the spaces. Rather, the opening up of the internal volume will provide expansive views of the interior, including views of retained timber hoppers above.

As with B4, the greater part of this building will be retained, including the overall external form of the 1880 component, plus the 1930s south addition. The removal of the 1918/19 north addition will involve an element of secondary significance, albeit a substantial part of its wall to Gough Street will be retained, to provide evidence of the evolved form of B5. The proposed roof treatment of B5 is an example of where later building form is being maintained, i.e. the 1950s roof form, as evidence of the evolution of B5, although the 1950s roofing material is being replaced with more contemporary fabric.

Where changes are proposed to external openings, these are generally minimised or restricted to a localised part of the exterior, so as to limit the impacts. These changes are also mostly required for access purposes, to support the new uses of B5, including the proposed sliding glass doors to the ground floor of the west elevation. However, the majority of the remainder of this elevation will be treated with sympathy, with considerable works proposed to reinstate and reconstruct its overall original form. The revealing of the original west elevation, which has been concealed for many decades by adjoining development, including the 1952 pneumatic drum malt house [B7], is a particularly important outcome of the Stage 2 works.

The retention of the existing overhead bulk loading bins hopper which connects with B4, is also a positive outcome.

Overall, the contribution of this building to Gough Street will be maintained, and importantly enhanced through the proposed conservation and restoration works.

As with B4, the proposed 'slice' through the building is an unorthodox action, but again the 'slice' provides benefits in enabling dramatic views into the interiors. Especially with the 1880 building, the 'slice' will reveal elements of the Saladin boxes and their associated machinery at ground floor level, and retained steeping tanks through to timber hoppers at the upper levels. The view to the south from within the 'slice', will be into the severed 1930s addition, which will have open walls at ground floor level, and void space above, albeit the latter will contain the proposed new internal truss structure associated with the cantilever works to the addition. The 'slice' through B5 will therefore provide views of the old and new, and of the internal workings of this highly significant building. It will similarly provide for access through the building to connect with B4, and to the surrounding landscaped open space, and adjoining new development.

Regarding the 1930s addition, the proposal to cut away most of the ground level fabric of the building, and to open it up by way of a cantilever, is also a dramatic approach. It differs from the more conventional approach to openings as proposed for the remainder of B5 and also B4. As an element of secondary significance, however, this building component provides greater flexibility for the extent of change proposed. Accepting that, the external appearance of the building will substantially be retained. The loss of the ground floor walls will also to a large extent be balanced by the retention of the walls above.



Figure 13 B5, north elevation to Gough Street; powder coated aluminium louvred screens will replace the corrugated steel panels to the north roof elevation; the painted wall to the 1918/19 north addition, in the foreground, will be retained but modified with new openings, and the paint removed



Figure 14 B5, south end, showing 1930s extension; the steel awning at left will be removed; the ground floor level walls will also be substantially removed



Figure 15 B5, east elevation



Figure 16 View to top level and roof of B5, showing part of the original 1880s bichromatic brick west elevation (indicated)



Figure 17 Richmond Maltings, as seen from the east on Cremorne Street, 1881; the (then new) 1880 malt house (B5), with its original kiln roof form, is at right  
Source: *Australian Brewer's Journal*. 20 January 1919



Figure 18 1903 view of Richmond Maltings, on Cremorne Street; the main building in the foreground is the 1880 malt house (B5), with its kiln roof form already modified from the original; the large west elevation at right is proposed to be revealed and restored  
Source: *Australian Brewer's Journal*. 20 February 1906

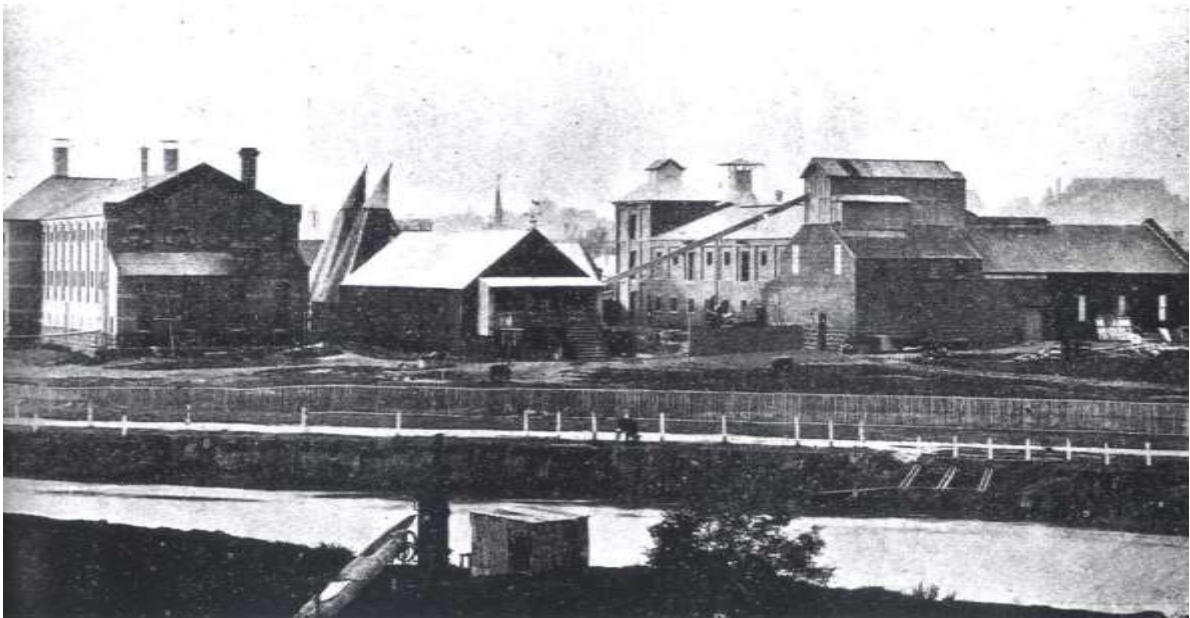


Figure 19 Another view of Richmond Maltings, in 1903, from the south side of the Yarra River; the building at left is the 1880 malt house (B5), looking at its south end; all other buildings visible in this image were subsequently demolished and/or replaced  
Source: *Australian Brewer's Journal*. 20 June 1903



Figure 20 1919 view of Richmond Maltings, on Cremorne Street, showing B5 with the (then new) 1918/19 addition in the foreground  
 Source: *Australian Brewer's Journal*. 20 January 1919

#### 5.4.3 B6 1920 malt house

This building is illustrated at Figure 21 to Figure 28.

The 2005 CMP identified B6 as being of primary significance, with historical, architectural and technological (scientific) significance.

B6 is a 1920 floor malt house, with additions to the west and east ends, the latter dating from 1928. The building is a long rectilinear double-storey face brick building, with a hipped roof clad in corrugated galvanised steel, and with roof lights. It incorporates a germinating floor at ground floor level, with a 'spoon' profile, regular grid of steel stanchions supporting steel girders, and low floor to ceiling height; and storage, baggage and steeping areas at first floor, which is a large open-plan space with timber floorboards, and a raked timber-lined ceiling with exposed timber roof trusses. A centrally located tower addition to the roof, clad in asbestos cement sheeting, accommodates plant. The long south elevation to Harcourt Parade is substantially intact, albeit with some changes to openings, and is divided into bays by wide brick piers with each bay containing a segmental arched window at ground floor level. These retain timber louvres and shutters/security screens or grilles. Other openings have variously been bricked up or rebuilt with horizontal concrete lintels and modern steel-framed sash windows. The north, west and east elevations are partially or completely obscured by additions or later buildings. The north elevation is of similar form to the south elevation, with more or less identical fenestration, but has been more significantly modified and also partly over-painted.

#### Proposal

Proposed new use of B6, specifically the retained eastern component of the building, is currently identified as a retail or commercial use, the details of which are to be confirmed. The new building will be residential.

Proposed external works:

- A combination of demolition and retention is proposed for this building, including demolition of the majority of the west portion of the building, including roof and external walls save for the

south elevation; and retention of the east portion. The latter will include the roof, reclad with new FC sheeting to match the existing AC sheeting, original east end elevation, and north and south elevations.

- South elevation: retention of the long elevation to Harcourt Parade, including the eastern section associated with the later addition. Where required, a new retaining wall will be inserted adjacent to the north face of the south wall, to provide structural support. A ramp, associated with proposed landscape works, will be inserted into the space behind the south elevation at its east end. The timber louvres to openings will be repaired or replaced, as required.
- North elevation: removal of non-original annex at the east end.
- East elevation: Infill of non-original opening, and creation of a new opening at the south end of the wall, for new ramp access.

Proposed internal works:

- Limited internal works are proposed for the retained east component of the building, save for removal of non-original partitions. The remainder of the original fabric will be retained.

Proposed new works:

- Construction of a new building on the site of the demolished area of B6, abutting the retained east component, and set inside the retained south elevation.
- The building will be expressed as two distinct (east and west) squared off vertical volumes. The east volume will sit southwards of the other, abutting the north side of the retained B6 elevation to Harcourt Parade. The west volume will be set back from the B6 south elevation, in the order of 3.5 metres. The west volume will also extend out to the west and north of the envelope of the demolished component of B6.
- The new building will comprise three basement levels; office space, a lobby and lifts at ground floor level; a central lift core; 12 and 16 levels above in the east and west volumes respectively; plus lift overrun and rooftop plant. Proposed materials will include clear, light and mid-toned glazing, operable glazed louvres, and charcoal coloured metal framing and cladding.

The following are also proposed:

- Conservation works including repairs, paint removal, repointing and reinstating/rebuilding brickwork, replacement of glazing, and replacement of damaged timber elements.
  - Removal of extraneous external items such as modern services, pipe work, steelwork, conveyors and the like.
  - The Lovell Chen drawings which identify proposed demolition also indicate where salvage of
- Comment

### Comment

The proposal for B6 represents a substantial change and intervention into the building. Effectively, a large area of the building is proposed for demolition. It is also the case that the most visible components of the building are proposed for retention, notably the long south elevation to Harcourt Parade, and the north side of the eastern component of the floor malt house as is currently visible from within the maltings site. Figure 24 and Figure 25 illustrate how little of the north side of this building is currently visible or clearly discernible from within the site. The aerial image at Figure 21 also illustrates the enclosed condition on the north side of B6.

The original eastern component, as noted, will be largely retained to maintain physical evidence of the floor malting process. The ground floor of B6 – the original concrete germinating floor with ‘spoon’ profile, regular grid of steel stanchions, and low floor to ceiling height – is not easily adapted. Accepting this, the current proposal identifies a potential new retail or commercial use for this part of B6, subject to further detail. The first floor will also be retained, to complete the retention of two levels in their substantial current form. This will allow for future understanding of the floor malt process. There will



also be visibility from the new building lobby and community facilities, into the interiors of the retained original levels of the floor malt house, notwithstanding the levels are not aligned. A glazed wall will allow a direct view into the internal structure and workings of the historic floor malt building.

The south elevation is another highly visible element of the Richmond Maltings site, and an important contributor to the Harcourt Parade and freeway on-ramp streetscape. Importantly, in retaining the elevation, this component of the defining character of the Richmond Maltings site, as viewed by thousands of passing motorists each week, will be maintained.

It is also recognised that the proposal for B6 differs substantially from B4 and B5 in terms of the extent of building form and fabric being retained, and the degree of intervention with a new building. For the other malt houses, very substantial retention and generally limited adaptation is proposed. For B6, greater intervention is identified, including more intensive new development and building height. Within a site of this nature, with a complex development history, a core of significant buildings in varying stages of intactness, and a development strategy which combines retention, conservation, demolition and new buildings, B6 has been flagged as a building which can withstand the proposed degree of change. This is not to suggest that the building be 'sacrificed'. Rather, it recognises the limited scope to adapt B6 in its current form, and that it need not be set aside in its entirety as a 'museum' piece within the site. B4 and B5 will remain the most intact of the heritage buildings, together with B8. With B6, the currently most visible components of the building will be retained.



Figure 21 Recent aerial image of B6, with Harcourt Parade and freeway abutting; this image illustrates the constrained condition of B6, including to its north, west and east sides; the proposal for this building largely retains the circled component, plus the Harcourt Parade elevation

Source: Nearmap



Figure 22 B6, south elevation to Harcourt Parade, with the wall of the 1928 east addition at right; this elevation will be retained



Figure 23 B6, western addition, showing the south elevation to Harcourt Parade; this component is proposed for demolition



Figure 24 B6, east end, showing section of north wall and roof; this building component is being retained, excluding the addition at left and the adjoining minor brick annex



Figure 25 B6, another view of the north side of the building



Figure 26 B6 interior, ground floor, showing concrete germinating floor with 'spoon' profile, and regular grid of steel stanchions and girders



Figure 27 B6 interior, first floor



Figure 28 Engraving of Richmond Maltings, late 1920s; the long linear form of B6, the 1920s floor malt house, is in the background adjacent to the Yarra River (indicated by red arrow), prior to the c. 1928 east addition and when it retained its kiln roof forms at the west end; the majority of buildings in the left half of this image were subsequently demolished and/or replaced

Source: Barrett Burston

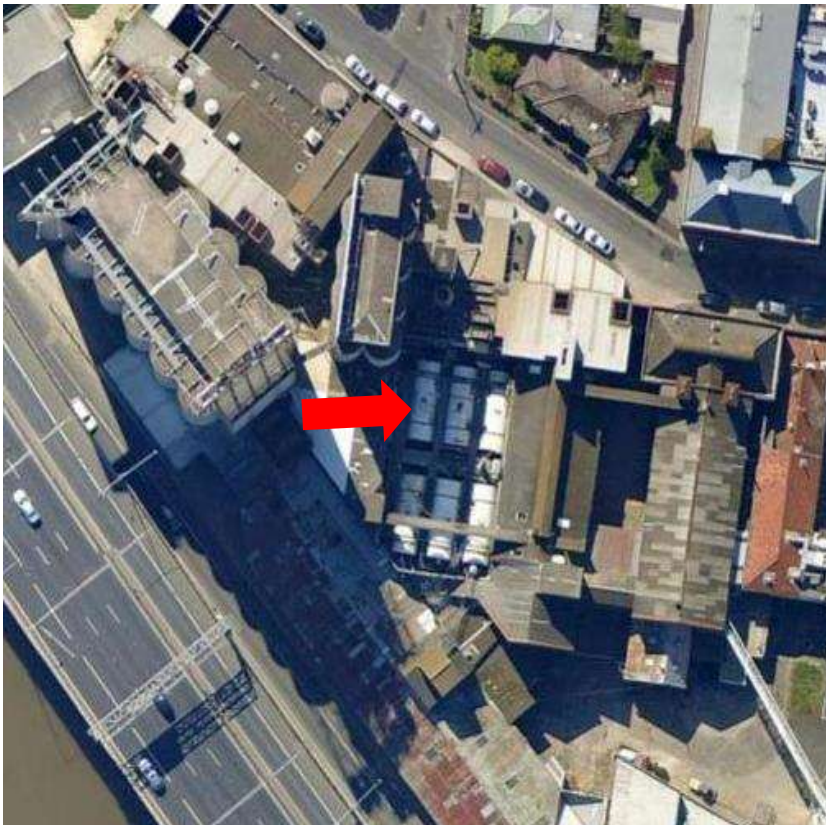


Figure 29 Recent aerial image of the Richmond Maltings site; the location of B7 and the drums, without the roof to the building, is indicated

Source: Nearmap

The new building component will contrast in scale, form and materials with the retained floor malt house. There will be a clear distinction between the old and the new, and an obvious division within the building. The change in height to the new building is not one of transition, but rather a more dramatic scaling up to the remainder of the proposed tower development in the west of the site. B6 is also a building which already adjoins the B9 silos at its western end, as introduced in the 1960s. There is no particular sensitivity about B6 being seen in a low-scale context. The retention of the south elevation will also assist in retaining evidence of the long rectilinear building with its horizontal massing.

The loss of the later western addition to B6 will not have a heritage impact.

The proposed conservation works to the retained components of the building will enhance its presentation and appearance within the redeveloped site, and importantly also to Harcourt Parade, the building's most publicly visible elevation.

#### *5.4.4 B7 1952 drum malt house*

The 2005 CMP identified B7 as being of secondary significance, of historical and technological significance, and limited architectural interest.

B7 is a drum malt house constructed in 1952, from which the roof has substantially been removed. The form of the building's exterior is difficult to discern, as it is enclosed on all sides with other buildings and accretions/attachments to buildings, including B6 (south side), B5 (north and east sides), and B8 (north and west sides). The structure is rectangular in plan, with timber-framed steel-clad walls and steel-framed windows. It contains six large cylindrical germination vessels (drums), which replaced earlier pneumatic malting drums. Internally, the open-plan space has unlined walls, a concrete slab floor, and exposed steel roof trusses. There is also associated plant and machinery.

#### **Proposal**

It is proposed to demolish B7, an action which will facilitate the proposed reinstatement/reconstruction works to the west side of B5, and new landscaping in this area.

#### **Comment**

The demolition of B7 is permit exempt. Architecturally, the building was purpose-built to accommodate the drum malt process, but is otherwise standard in regard to form, fabric and post-WWII period construction. However, in recognition of its secondary significance, the building and its cylindrical germination vessels should be recorded prior to demolition. This is also consistent with the Heritage Victoria permit exemptions for Richmond Maltings, which require the buildings for which demolition is exempt to be fully recorded prior to the demolition works.

#### *5.4.5 B8 1952 concrete silos*

This building is illustrated at Figure 30 to Figure 33.

The 2005 CMP identified this building as being of secondary significance, of historical and technological significance, with some landmark qualities.

The B8 silos were constructed in 1952 by Smith Mitchell & Co to hold barley, and to supplement the 1939-40 barley store (B11); they were known as the No 1 silos, the first constructed on the site. B8 comprises eight reinforced concrete cylinders arranged symmetrically in two rows of four; with a rectangular grain-elevator tower at the northern end, also constructed of reinforced concrete, with small steel-framed windows. On the west side of the silos is remnant painted signage 'SMITH MITCHELL & CO COMPANY MALTSTERS', and a large electric 'VICTORIA BITTER' sign. This is accessed by a steel framed walkway. Various associated elements are located to the north and east sides of the building, including a barley cleaning and bagging off facility, grain receiving hopper and barley screening plant.

#### **Proposal**

The proposed new use of B8 is commercial serviced apartment use.

#### Proposed external works:

- Demolition of the associated elements to the north and east sides of the building.
- Retention and conservation/repair of the 'SMITH MITCHELL & CO COMPANY MALTSTERS' and 'VICTORIA BITTER' signs on the west side of the silos.
- Removal of sections of some of the concrete cylinder walls to accommodate adaption, where these sections are associated with the serviced apartment use, and introduction of new openings/windows.
- Removal of sections of wall on the west side of the grain-elevator tower to allow access to the new lift lobby in the silos.
- Replace existing AC sheeting to roof with new FC sheeting to match.
- Retain, repair and modify the walkway on the west side of the building, to access the retained signage.

#### Proposed internal works:

- Removal of internal walls/partitioning at the base of the building.
- Introduction of new floor levels, services and fitouts to the silos to support the new use.
- Introduction of lifts to the two northern-most silo cylinders.

#### Proposed new works:

- Construction of new works adjacent to the silos, chiefly to the north-west and east sides of the building, with the existing silo form remaining visible and legible on the south, south-west and north-east sides. The new works will comprise office and lobby ground floor spaces, with serviced apartment levels elevated above on levels 2 to 5 (east side) and 6 (west side). Proposed materials include clear glazing and charcoal coloured metal framing and cladding.

#### The following are also proposed:

- Repair concrete walls as required, including removal of organic growth, repair spalling, restore and repaint window frames

#### **Comment**

The proposal for B8 is to substantially retain the silos and grain-elevator tower, and to adapt the building to serviced apartment use. As silos, adaptation presents particular challenges, and these are addressed here through building around part of the exterior of B8 and connecting and integrating the new spaces into the silos via new openings. The approach maintains much of the current external form of B8, and its visibility. In fact, the visibility of the building is in part enhanced through the removal of some elements which currently adjoin the building, with B8 not being a structure which is seen in the round or with uncluttered free space surrounding it. The silos, with their distinctive cylinder form, will be substantially visible to all sides, and the top of the existing building including the grain-elevator tower will emerge cleanly from the new works. The approach is also complemented by the retention of the remnant painted 'SMITH MITCHELL & CO COMPANY MALTSTERS' signage and the 'VICTORIA BITTER' sign, and the external conservation and repair works. Overall, the proposal for B8 will maintain the industrial aesthetic qualities of the building which make an important contribution to the Gough Street streetscape, where the silos are seen as a prominent element of the site.

Internally, the adaption works will minimally impact on significant fabric. With the adaptation, the newly 'internalised' form of the cylinders will also remain legible within the new works. The demolition of the barley cleaning and bagging off facility, grain receiving hopper and barley screening plant on the north and east sides of the building, will remove related elements, but elements of lesser heritage interest. Their removal will also help facilitate adaptation of the building.



Figure 30 East side of B8 silos, showing concrete cylinders and associated grain elevator tower at right



Figure 31 North end of B8 silos, as seen from the east





Figure 32 West view of B8 silos, with visible signage; B10 sits in front of the silos in this image.



Figure 33 Detail of signage on west side of B8

#### 5.4.6 B9 1960-62 concrete silos

This building is illustrated at Figure 34 to Figure 38.

The 2005 CMP identified the B9 silos as being of secondary significance, of historical and architectural interest, albeit with landmark qualities.

The B9 silos (originally the No 2 silos, following the No 1 silos of B8) were erected in stages between 1960 and 1962 (see Figure 38). Their construction came at a time when maltsters in Victoria were erecting grain silos on their sites, reflecting the Australian Barley Board's move to supply bulk grain direct to maltsters. The B9 silos subsequently became one of the more recognisable grain storage silos in inner Melbourne, due to their prominent location. This was emphasised by their subsequent use for signage purposes, as outlined below in Section 5.5. The silos comprise sixteen concrete cylinders arranged in two rows of six, and one row of four, the latter on the north side. A rectangular grain elevator tower is located at the east end, with a passenger lift. A barley screening plant is also located to the east, adjacent to the grain elevator. A grain receiving hopper, and associated truck bay, is located on the south side, with access off Harcourt Parade. The Nylex sign is located on top of the silos.

#### **Proposal**

It is proposed to demolish this building and associated plant. The Nylex sign will be removed, placed temporarily in storage, and reinstated atop a new apartment building proposed for this location.

#### **Comment**

As noted, the demolition of B9 is permit exempt. As a building type, the silos are one of a number of broadly similar concrete storage silos erected by sale maltsters in Victoria in the 1960s and later. Concrete silos were also erected along railway lines in Victoria in the post-WWII period, for the storage of all forms of grain. The form and fabric of the silos are therefore largely representative and of a standard nature. While the demolition will remove a building which is well known and prominent, it will not remove a building of great rarity or architectural or technological distinction.

It is also recognised that B9 has landmark qualities. These qualities derive from the scale of the building; its prominent location; and the highly public association with Punt Road, the freeway and the Yarra River. The qualities do not derive from any inherent architectural merit, or design considerations. The silo cylinders are distinctive, but in the way which is typical of many grain silos. The circular form was driven by their function of storing grain in a structure without corners and angles, which allowed for efficient filling of grain from the top, and removal of grain from the bottom. The landmark qualities also derive from the association with the Nylex Sign. B9 contributes to the prominence and significance of the sign, again due to its height and location. There is a relationship between the silos and the sign, but it is not one on which the significance of the sign relies. The Nylex Sign has its own heritage values and significance. These do not carry through to the silos, which are straightforwardly a host structure for the sign.

In returning to the exemption for demolition of B9, it is reasonable to consider a replacement building and how it might address the landmark qualities of the silos and the association with the Nylex Sign. This is proposed with Stage 2, through the construction of a new apartment tower in the general location of B9, and the proposal to locate the Nylex Sign to the roof of the new building and provide public access to it (see Section 5.6 below).

The demolition of B9 is also, as with B11 (see below), proposed as a means of achieving a balance on the site, which enables a level of development to occur which can in turn support the conservation of the significant heritage buildings. This part of the site, as proposed for intensive development, is also outside and away from the core of retained heritage buildings in the centre of the site. It provides an opportunity for a substantial new building, in a location where the existing building is identified for demolition. As with the other proposed demolitions at Richmond Maltings, the silos should be recorded prior to demolition, an action which is again consistent with the Heritage Victoria permit exemptions.



Figure 34 B9 silos, viewed from the south-west



Figure 35 B9, viewed from the south



Figure 36 B9, viewed from the north

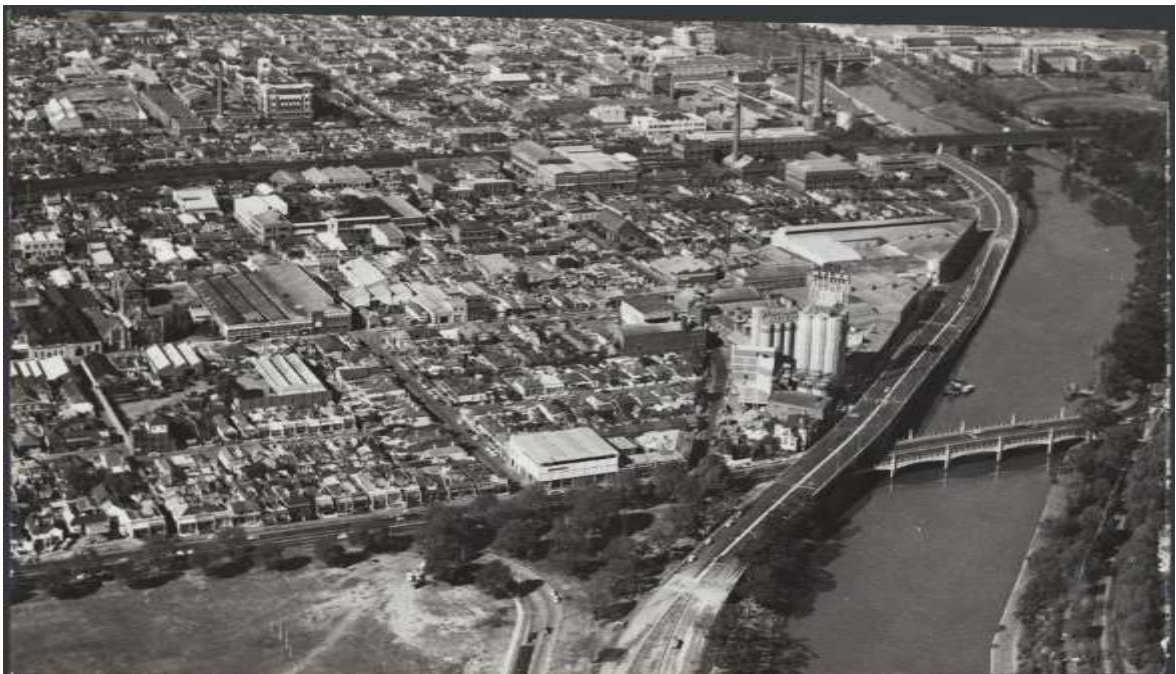


Figure 37 1962 image, showing Richmond Maltings right, with partially completed 1960s silos and Nylex Sign

Source: Herald & Weekly Times Collection, State Library Victoria

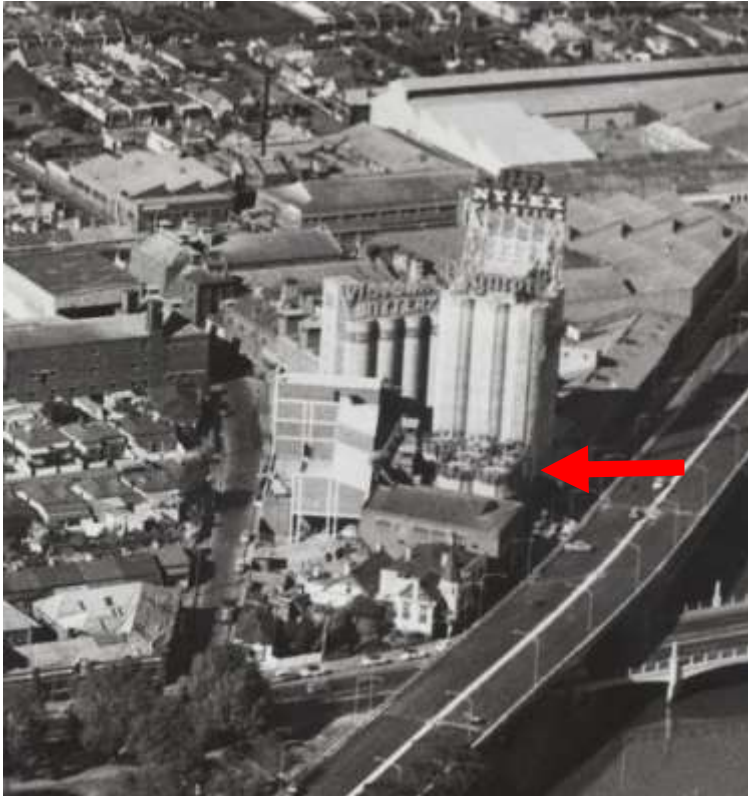


Figure 38 Extract from above 1962 image; the arrow indicates the footings of the yet-to-be built silo cylinders on the west side of the building  
 Source: Herald & Weekly Times Collection, State Library Victoria

#### 5.4.7 B10 1956 and later malt house

This building is illustrated at Figure 39 and Figure 40.

The 2005 CMP identified B10 as being of secondary significance, of historical significance and architectural and technological interest.

B10 dates from 1956, and was constructed as a pneumatic malt house with Saladin boxes and associated plant. Historically, the building had out-loading bins and a bulk despatch area at the west end, kilns on the south side of building, and steeping tanks and humidifier plant in the tower at the east end.

It is large building of differing heights, with elevations articulated as rectilinear concrete frames with face brick infill panels. At the north-east corner is a square five-storey tower, with bays of large rectangular metal-framed windows on the east side; the building is otherwise windowless. A large delivery dock is at the west end, with a flat roof on metal columns. Internally, the building contains Saladin boxes contemporary with the building's construction. It is one of a number of pneumatic malt houses which utilise Saladin boxes, constructed (or modified from existing malt houses) in Victoria from the 1950s. In a technological context, while of interest, the pneumatic system employed here is understood to be represented at other maltings sites.

#### Proposal

It is proposed to demolish this building and associated plant.

#### Comment

The demolition of B10 is permit exempt. However, in recognition of its historical significance, and architectural and technological interest, B10 should be recorded prior to demolition.



Figure 39 West side of B10 malt house, with B8 silos in background



Figure 40 East side of B10 tower

#### 5.4.8 B11 1939-40 barley store

##### **Description**

This building is illustrated at Figure 41 to Figure 45.

The 2005 CMP identified this building as being of primary significance, of historical, architectural and technological significance.

B11 was built for barley storage purposes, in c.1939-40. The need for additional grain storage on site came about when the Australian Barley Board took over the supply and distribution of barley at the outbreak of WWII. To reduce costs associated with storing barley, the Board delivered grain direct to maltsters as soon as it was received from producers, hence the need for additional barley storage on maltings sites. There was an existing grain store on the site at this time, on the west side of B5, but it was destroyed in the 1950 fire.

B11 is a three-storey face red brick building on a square plan. It has a hipped roof with gable ends, clad in corrugated fibro-cement sheet with a low parapet on all sides. The windows, with concrete lintels, to the east and west elevations include small square steel-framed windows at first floor, and larger rectangular windows with timber louvres at second floor. The east and west elevations also have doorways with ledged-and-braced timber doors. The north elevation has limited openings, but includes a doorway at ground floor level to facilitate vehicular access to the internal space now used as a car park. The south elevation, which was rebuilt in 1997 when the building was truncated to allow for the widening of the Punt Road/Harcourt Parade junction, is windowless. Internally, the building consists of three levels of open floor space. It originally had bag storage spaces on the ground and first floors, with screening plant on the second floor. A grid of steel stanchions supports the floor structure; the timber-trussed roof is exposed at the uppermost level.

##### **Proposal**

It is proposed to demolish this building.

##### **Comment**

The demolition of B11 will represent a heritage loss. Historically, its construction reflected the requirement for Australian maltsters to provide additional grain storage on their sites near the outbreak of WWII; and technologically, the building pre-dates the bulk handling era of barley storage on a sales maltster site. The fenestration and external door openings at different levels also flag differing internal uses, including the need for air circulation as provided by the large louvred windows. Accepting this, architecturally the building is still generally utilitarian in terms of form and fabric, and has been significantly altered at its south end. It is also the case that this building is a later addition to the site. While it is a publicly visible building, it is not one which engages the viewers' attention in the way of the older and more distinctive malt houses. Historically, views of B11 from Punt Road were also restricted by the Sir Henry Barkly Hotel, formerly located to its west, and which predated the barley store.

The demolition of this building can reasonably be balanced against the retention of B4 and B5, and part retention of B6. These are earlier buildings; they are also maltings buildings, which demonstrate distinctive maltings technologies and processes. B11 was a storage building, and one of several storage facilities added to the site in the twentieth century. It played an important role at the site, but it does not share the rarity of the earlier malt houses, nor their level of technological significance. B8, the 1950s silos, is also being retained, and will provide evidence of the storage of barley on the site. The demolition of B11 is also, as with B9, proposed as a means of achieving a balance on the site, which enables a level of development to occur which can in turn support the conservation of the remaining retained significant buildings. This part of the site is also outside and away from the core of retained buildings in the centre of the site, and in combination with B9 provides an opportunity for a substantial new building. While that in itself is not necessarily justification for demolition of this particular building, in the context of the balanced actions and outcomes proposed for the whole of the site, it can be

regarded as an acceptable outcome. As with the other proposed demolitions at Richmond Maltings, B11 should be recorded prior to demolition.



Figure 41 West elevation of B11 (at right); B10 is at left



Figure 42 Another view of the west side of B11





Figure 43 B11, non-original south elevation at left, and east elevation at right (as seen from Harcourt Parade)



Figure 44 B11, interior of level 1 (middle level)



Figure 45 B11, interior of level 2 (top level)

## 5.5 Nylex Sign

The Nylex Sign is illustrated at Figure 46 to Figure 49.

Various dates of construction have been cited for the Nylex sign, including the VHR citation which identifies both 1961 and 1967 as construction dates. The 2005 CMP also noted that the sign was not constructed until Moulded Plastics Australia Pty Ltd changed its name to 'Nylex' in 1967, although 'Nylex' was registered as a trademark as early as 1941. It was also used as a brand name for certain products produced by Moulded Plastics Australia Pty Ltd, before 1967, so an earlier date for a promotional sign is entirely possible.

An image from the Herald & Weekly Times, dated 1962 (Figure 37 & Figure 38), clearly shows the Nylex sign on the silos, although the latter are only partially complete. The sign is on the eastern group of concrete cylinders; the western group are still under construction in this image. Also of interest is the presence of other large electric signs on the still partially completed silos, including on top of the silos, west of the Nylex sign. Evidently the new and highly prominent silos, at the (then) Smith Mitchell & Company Maltings, were regarded as an advertising 'opportunity'. The 1962 image also shows the first substantially completed section of the South Eastern Freeway, associated with Punt Road. *Melbourne Miles: The Story of Melbourne's Roads* (Max Lay, 2003), confirms that the first freeway section, or overpass from Punt Road to MacRobertson Bridge, opened in 1962.

This confluence of dates points to the sign being constructed in about 1962, when Moulded Plastics Australia Pty Ltd elected to take advantage of the prominence of the new concrete silos, and erected the large neon sign on top of the building. The visibility of the silos, and the sign, from the freeway would have encouraged the company in terms of the placement of the sign. A later 1960s image (Figure 46) shows the completed silos. The Nylex sign is no longer competing with another sign on the top of the building, but there are other large signs attached to the south and west sides of the silos.

It is also noted that the current lettering of 'NYLEX' in sans serif, does not match that of the original sign, as illustrated in the historic images. The 2005 CMP identifies that the 'galvanised steel trough lettering forming the work 'Nylex' was replaced c.1980'.<sup>3</sup>



Figure 46 C. late 1960s image, showing the completed silos and Nylex sign, plus other signs which have subsequently been removed/replaced  
Source: State Library of Victoria

#### Views of the sign

Richmond Maltings is located adjacent to the Yarra River corridor, and the Monash Freeway. The open river corridor forms a major topographic division separating Cremorne on the north bank of the river, from South Yarra on the south bank. The division is amplified by Punt Road Hill which, when considered in combination with the flat land of Cremorne and the river corridor, creates a striking juxtaposition of land forms focussed on the Richmond Maltings site.

The openness of the river corridor, the elevated land on the south side (Punt Road Hill), and the relative height of the B9 silos also result in a high level of visibility to the Richmond Maltings site and the Nylex Sign, from a range of vantage points. The latter include elevated areas such as the freeway and Punt Road Hill, and some distant views along roads or across open space including the adjoining sporting parklands and Yarra River corridor.

By contrast, views of the site and of the Nylex Sign from the more densely built up areas surrounding Richmond Maltings are generally more constrained, other than those available from directly adjoining streets in Cremorne. Views of the sign are available along some streets in the surrounding area, but these are typically minor or side streets, with view corridors to the sign commonly being 'hostage' to the alignment of the streets.

The Nylex Sign is also dual-sided, and directly faces the north-west and south-east. This orientation reflects the original placement of the sign on its frame, at the east end of the silos with the frame extending across the width of the silos, between the north and south elevations.

Views of the sign vary, depending on the location, orientation and elevation of the viewer, and the distance from the sign. In the more distant views, the Nylex sign appears as an elevated object on the

horizon, often seen above intervening development and buildings. Another factor in the views is the degree to which the full, or substantially full 'NYLEX' face of the sign can clearly be seen.

There is also the matter of the social significance of the Nylex Sign, and the significance of the popular or more recognised views. In this regard, the VHR citation states:

The Nylex sign is of social significance for its landmark qualities. The sign dominates the view along the major thoroughfares of Punt Road and Hoddle Street and because of its location at the entrance to the South Eastern Freeway the Nylex sign is considered the unofficial gateway into Melbourne. The clock and temperature display is a constant point of reference for residents and motorists.

This recognition factor has entered the sign as a part of popular culture and has given the sign an iconic quality. Its mention in the Paul Kelly song Leaps and Bounds has given the sign an identity that extends beyond Melbourne.

The social significance of the sign, and its landmark qualities, therefore largely relates to its prominence in views from the river corridor, Punt Road and Hoddle Street, and the entrance to the freeway. The 'clock and temperature display' are also a point of reference, with additional iconic status imbued in the sign due to its association with the popular Paul Kelly song.

### **Proposal**

The proposal is to temporarily remove the sign from the top of the 1960s silos, transfer it to storage, and reinstate it in working order atop a new apartment building in the same location as the existing silos building. The top of the sign is currently at AHD59.25; in its relocated position it is proposed to be at AHD75.08. The Irwin Consult report, which is appended to this report (see Appendix G) includes a methodology for the removal, storage, inspection and eventual reinstatement of the sign.

Public access will also be made available to the reinstated sign, via a lift in the new apartment tower to a Nylex Sign Café on the top of the building.

As noted above, Caydon has also entered into an agreement with an energy supply company for the ongoing provision of power to the sign, and to undertake 'regular preventative maintenance' to ensure the sign remains 'functional and operational'.<sup>4</sup>

### **Comment**

The Nylex sign is being retained with the Stage 2 proposal. It will also be repaired and restored to working order, with an ongoing maintenance plan put in place, and public access provided. As noted, the Heritage Victoria permit policy emphasises the importance of the 'location and position' of the sign. Its location and position is effectively maintained with this proposal, albeit the sign will be further elevated.

In heritage terms, it is important to consider if there will be any impacts associated with the increased height of the sign. As already noted, views of the sign vary depending on the location, orientation and elevation of the viewer, and the distance from the sign. A higher or more elevated sign would still be visible in the majority of existing views. In the more densely built up areas surrounding the maltings site, where views are generally more constrained, the existing views are also likely to be retained, although it is accepted that in closer proximity to the site there will be some concealment or restriction of views, given the proposed Stage 2 development and new buildings on the site.

The VHR statement of significance (reproduced above at 2.1.2) identifies the sign as being of social and historical significance to the State of Victoria. The key attributes of significance can be summarised as follows:

- The sign is of historical significance as one of a collection of signs marking Victoria's industrial heritage in Richmond. Of all these signs, the Nylex sign is the most prominent.

- The sign is a rare large sky-sign, and the only major sky sign in Melbourne that uses such a range of lighting media.
- Signs such as this have strong associations with the industrial base of Richmond.
- The sign is of social significance for its landmark qualities. The sign dominates the view along the major thoroughfares of Punt Road and Hoddle Streets and because of its location at the entrance to the South Eastern Freeway, is considered the unofficial gateway into Melbourne.
- The sign is part of popular culture, has iconic qualities, and an identify that extends beyond Melbourne due to its mention in the Paul Kelly song.

In relation to these attributes, the historical significance of the sign will not be impacted, and nor will its significance as a rare large sky-sign and a major sky sign in Melbourne. The landmark qualities will be maintained, as will the association with the Paul Kelly song. Of the more significant views identified above, including the views associated with the social value of the sign, these will be maintained with the proposal. The photomontages lodged in support of this application assist in understanding the visibility of the sign, and its prominence, in these views. From the west, the sign will likely be visible from further away, although there may be some loss of visibility from close proximity given the envelope of the proposed new building on the B9 silos site.

Ultimately, the Nylex Sign is a sky sign. It will still be an elevated sign, located atop a steel frame and seen against the backdrop of the sky. It will continue to perform its original function, enhanced by its restoration and ongoing operation. The provision of public access to the sign, and to the proposed Nylex Sign Café, although a new proposal and not historically intended or part of the original role of the sign, is also a positive outcome. It recognises the social significance of the sign and in literally bringing people closer to it, the 'iconic' status of the sign – as recognised in the VHR statement of significance - is given greater recognition.



Figure 47 Nylex sign, viewed from east



Figure 48 Silos and Nylex sign viewed from south-east



Figure 49 Detail of Nylex sign

## 5.6 New buildings

### Proposal

In addition to the new building associated with B6, described and commented on above, new buildings are proposed for construction on the western part of the site, in the area of the demolished B9, B10 and B11 buildings. These are referred to in this report as the southern tower building, on the site of demolished B9 and B11; and the northern apartment building, partly on the site of demolished B10 and with a long frontage to Gough Street. It is also noted that the FKA drawings refer to the new buildings in this area as 'B8'. This is on the basis of the western development sharing a linked podium with the works to the heritage building B8, also described and commented on above.

A large three-level basement is proposed to extend across the western half of the site, also extending into the footprint of the demolished part of B6, to the south of B8 and to the west side of B5; effectively to the west, north and south property boundaries. The basement will largely be used for car parking, with lift cores located at the west and east ends. The former lift core will service the southern tower building, while the latter lift core will service the apartment building associated with B6.

The ground floor level will incorporate vehicle entry off Gough Street to the basement car park levels; a car lift to parking spaces above on levels 1 and 2; the main residential lobby to the southern tower building; bicycle parking and services associated with the residential use; and office and commercial/retail uses. The entry to the proposed Nylex Sign Café on the top of the new apartment building will be located here. Several SOHO apartments will be located to the Gough Street boundary.

A large courtyard area is located centrally, between the southern tower building and the northern apartment building. The courtyard will be entered off Gough Street, via a large pedestrian entrance of some 6.1 metres wide, which will appear as a covered opening in the proposed Gough Street development, with the northern apartment building levels above.

Levels 1 and 2 will comprise residents' common spaces and facilities, including a swimming pool and additional car parking. Level 1 will also have several SOHO apartments to the Gough Street boundary, and other apartments on the north side of the southern tower building; while level 2 will also have apartments in these locations, but more extensively to Gough Street (northern apartment building).

From level 3 upwards, the two building components – the southern tower building on the sites of B9 and B11 and the northern apartment building to Gough Street - are more clearly differentiated.

The southern tower building will have ground floor plus 18 levels above. From level 3 the building will be residential, save for an additional residents' common space on this level. The proposed Nylex Sign Café will be located on level 18, with a lift overrun and rooftop plant. Balconies will be located to the north, south and west elevations; proposed materials will include clear, light, mid-toned and dark glazing, and metal framing and cladding in different tones.

In terms of form and massing, the building will have a long and narrow rectilinear plan, with a striking form above composed of vertical concave bays or divisions to the north and south elevations. Up to level 14, the orientation of the concave bays progressively shifts, giving the long elevations a dynamic expression. From level 15, the building will narrow, being set back from its north and south sides. Further detail will be provided of the Nylex Sign Café to level 18.

The northern apartment building will have ground floor plus 6 levels above. Level 7 will have rainwater collection tanks. Balconies will be provided on the north side of the building; and proposed materials include clear glazing, and charcoal coloured metal framing and cladding.

### Comment

The new buildings will occupy the western part of Richmond Maltings, and in being constructed on the sites of existing buildings proposed for demolition, will transform the character of this part of the site, including the appearance of Richmond Maltings when viewed from the north, south and west. The new

southern apartment tower in particular will be a conspicuously striking building in a highly prominent location. It adopts the general orientation and alignment of the existing silos, and with the vertical concave bayed expression and the Nylex sign atop, will inevitably draw comparisons with the silos building. It is however a fitting replacement for the silos, and for this prominent location, and can be regarded as a major identifier of the contemporary change proposed for the maltings site. Other than for B11, the proposed demolitions are also permit exempt, and this situation sets up the opportunity for change to occur and a new character to be established.

The transformation of the western area of the site will also not impact on the existing industrial character and appearance of the central historic core of the site, as maintained with B4, B5 and B6. There will be a distance of some 28 metres between the nearest eastern point of the southern apartment tower and the west side of B5. While the broader context of the heritage buildings will change, due to the presence of highly visible new development, it is a context which has evolved over time. Richmond Maltings is a place where views of heritage buildings, including the malt houses, have also taken in other varied building forms and industrial elements in the background, or foreground, or in the general setting. The malt houses have historically been seen in a densely built up site (see Figure 50 and Figure 51).

In terms of the proposed design and materials of the new buildings, these are appropriate to the contemporary nature of the buildings, and will clearly distinguish them from the heritage buildings and fabric.

On the matter of the scale of the new buildings, and in particular the proposed southern apartment tower, there will be an acknowledged contrast between the new and historic buildings in the central core of the site. This is notwithstanding the presence of the B9 silos, the height of which will be exceeded by some 15-16 metres with the southern tower building. It is also noted that Richmond Maltings is a heritage place where there are existing contrasts in scale, and changes in scale which have occurred historically. Both the B8 and B9 silos are taller than the malt houses and associated buildings, which range in height from one to five stories (the front part of B3 being the former, and B10 being the latter). Moreover, the silos' scale and dominance is a condition which did not exist for the first 90-100 years of the site's operation. In the latter nineteenth and early decades of the twentieth centuries, Richmond Maltings was a lower scale place (see again Figure 50 and Figure 51).

The 1950s silos (B8) and the 1956 malthouse (B10) added greater scale in the 1950s, followed by the B9 silos in the 1960s. The (then) new buildings created a contrast in scale which had not previously existed. The proposed southern apartment tower will represent a further evolution in building form and scale on the site, in a place where building scale has not been static or consistent.

As relates to the change in character and appearance at the western end, the location of the southern tower at some distance from the central historic core of the site, will help to address any perceived issues of visual dominance in terms of the relationship between the new tower and buildings B4 and B5 in particular. The historic malt houses do not rely on complementary or consistent scale relationships for their significance or appreciation, with the variety in building height, and form, a recognised characteristic of the property. The proposed northern apartment building will also be located at a generous distance from B4 and B5, as seen from the Gough Street frontage of the site.

Accepting all of the above, the proposal to introduce new and large buildings to the maltings site can be supported in heritage terms, as an action that will not impact on the heritage values of the place.





Figure 50 Engraving of the Richmond Maltings, late 1920s, showing the north side of the property to Gough Street, with the Yarra River in the background and the eastern end of site at left  
Source: Barrett Burston



Figure 51 C. 1945 aerial photograph, with north at top  
Source: Land Victoria

## 5.7 Landscaping

### Proposal

The landscaped spaces include the following, with the designated use of the spaces identified in the Oculus plans:

- The existing laneway between B4 and B5 (restaurant garden)
- Open space to the west side of B5 (outdoor restaurant seating)
- Open space in the central area adjoining B4, B5 and B6 (hard and soft landscaping including terraces)
- 'Slices' through B4 and B5 (pedestrian link)
- Heritage courtyard (east side of B6)
- Central lawn
- Pedestrian link to Harcourt Parade
- Pedestrian link and site entry to Gough Street
- Other open space courtyards with lighting, sculptures and seating

The landscaping includes a combination of soft (green) and hard landscaping, including the reuse and recycling of salvaged industrial materials from the site. Materials and elements include bluestone pavers, precast and in situ concrete, recycled brick paving, select plantings, a pergola, movable vertical planters, and terraces associated with changes in levels.

### Comment

The proposed landscaping has regard for the evolved industrial character of the Richmond Maltings site. While it proposes to 'green' the open spaces through the introduction of soft landscaping, this will be accompanied by the use of hard paving and surface materials, and the reuse and recycling of salvaged industrial materials from across the site, all of which will provide interest and texture to the open spaces. The laneway between B4 and B5 will be retained, and will continue to visually connect the two buildings, enhanced by the retention of the large overhead bulk loading bins hopper which physically connects the buildings.

Elsewhere across the site, the proposed landscaping distinguishes between spaces, with differing treatments depending on the proposed use of the spaces. It reflects a considered approach, and recognition of the different character areas which currently exist across the site. Importantly, the landscaping will utilise some of the newly 'freed up' spaces at the site, where buildings and elements are proposed for demolition, to create views and enhance the setting and presentation of buildings. This includes freeing up and landscaping space adjacent to the historic malt houses.

## 5.8 CMP policies

The 2005 CMP contains specific and detailed policies for each of the Richmond Maltings buildings. The policies reflect both the level of significance attributed to the buildings - primary or secondary – and that the buildings and elements vary considerably in terms of intactness, rarity, and retention of original, early or significant plant and equipment. The CMP generally concluded that buildings and elements of primary significance should be retained in substantially their current form, and that buildings and elements of secondary significance provide greater flexibility for alteration and/or removal.

The following table summarises and paraphrases the most relevant individual building policies, and provides a brief comment on the Stage 2 proposal in terms of compliance with the policies. More detailed comments on matters addressed by the policies are already included above. In some cases, policies on potential adjacent development and new buildings are also referred to, as included in the CMP.

5.8.1 *Individual buildings*

Table 2 CMP policies for buildings

Building/policy	Comment
<p><b>B4</b></p> <p>Primary significance</p> <p>General external refurbishment is recommended, as a means of improving the presentation and appearance of this building, including the removal of later accretions.</p> <p>Where accretions are removed, the original external fabric should be made good. Bricked up or infilled original openings should also preferably be reinstated.</p> <p>The single-storey office component at the south end could be removed if necessary as part of a proposed reuse, with the south end wall made good and reconstructed.</p> <p>The substantially intact north façade to Gough Street is a very visible component of the site and should be retained in its current form. The barrel-vaulted ridge vent in the roof together with the two kiln towers to the roof should be retained.</p> <p>The building already has a number of openings, but if new openings are required they should be limited and undertaken in accordance with the recommendations on new openings included below for B5.</p> <p>Internally, the ground and first floor spaces offer the greatest opportunity for adaptation. New partitions could be introduced into these spaces. Original cement steps and timber grain hoppers at the south end of the first floor, and remnants of the kiln furnaces at the north end of the ground floor should be retained.</p> <p>The second floor retains a greater extent of early and original fabric and plant, which should be worked around in any adaptation of these spaces.</p> <p>With regard to the storage bins, it may be that a representative but still substantial example of the bins and grain elevator/conveyor system are retained in this area. The original timber partitions should also remain unlined and not be covered up; representative examples of the doors should also be retained. New partitioning and openings could also be introduced into these spaces, provided it is done with sensitivity to the existing rhythm and volume of the spaces.</p> <p>The northern section of the second floor has already been adapted for staff amenity spaces, and can be adapted again.</p> <p>Building on top of this malt house is not considered appropriate as this would obscure its form and industrial</p>	<p>The Stage 2 proposal for B4, which is to retain, adapt and conserve the building, is substantially compliant and consistent with the CMP policies and recommendations.</p>

Building/policy	Comment
<p>aesthetic qualities, particularly given its prominence to Gough Street.</p> <p>In the event of nearby new development on the site, the malt house should not be overwhelmed by any new building.</p>	
<p><b>B5</b></p> <p>Primary significance</p> <p>Evidence of the principal stages of the pneumatic maltings process be retained in any future works to, or adaptation of, the building.</p> <p>It is recognised that in seeking to accommodate a new use, there will be some loss of significant fabric and plant, although the objective should be to minimise any loss.</p> <p>A more detailed assessment of the remnant machinery and equipment throughout the building should preferably be undertaken at the time a new use or adaptation is proposed, to clarify what equipment can be retained or removed.</p> <p>A comprehensive interpretation programme should be introduced into the building.</p> <p>B5 is an evolved building and there is no suggestion that it should be reinstated to its original external form.</p> <p>The 1880s component of the building should be retained and conserved; this building should also continue to demonstrate the principal stages of the overall malting process (storage, steeping, germinating, kilns), original or early machinery and fabric associated with these stages should be retained and conserved, where possible.</p> <p>Where there is later machinery associated with some of these processes, consideration could be given to retaining select evidence of it, as being representative of later maltings technology.</p> <p>Extraneous piping, minor equipment, electrical conduits, etc can be removed, although too much 'tidying up' should be avoided, to ensure the industrial character of the building is retained.</p> <p>The additions at the north and south ends of the building provide opportunities for adaptation.</p> <p>Retention of part of the significant maltings equipment and plant may be an option (such as retention of one of the two saladin boxes in the 1880 malt house), to facilitate a new use or function within the more difficult to adapt building spaces.</p> <p>Any fabric or plant of significance removed from the building should be recorded prior to removal.</p>	<p>The Stage 2 proposal for B5, which is to retain, adapt and conserve the building, is substantially compliant and consistent with the CMP policies and recommendations.</p> <p>Regarding the recommendation for a 'comprehensive interpretation programme', the proposed 'slice' will be a significant component of this.</p> <p>The interior of the building will be recorded prior to the removal of fabric and adaptation works.</p> <p>Regarding the policy on new external openings, for the west elevation large openings are proposed at ground floor level to facilitate the new internal use. These will be concentrated in a limited area of the elevation, the majority of which will be restored/reconstructed, as required, including original openings.</p>

Building/policy	Comment
<p>Levels within the building have been modified historically (after the 1950s fire), and this provides some opportunities for adaptation or further modification of the levels, provided the distinct internal functions of the building remain evident, and impacts on significant building fabric, form and plant are minimised.</p> <p>External refurbishment could include reinstatement of the west façade if B7 is demolished and the original west façade of B5 is revealed, although the condition and intactness of the facade would need to be investigated to determine if this is appropriate.</p> <p>Various external conservation works are recommended (not detailed here).</p> <p>Where new external penetrations or openings are required, careful consideration should be given to their desirability and necessity, and to the details of finishes which generally should aim to emulate the original design but which should be distinguishable from the original.</p> <p>Preferred strategies from a conservation perspective for new openings in external walls, in the order of most desirable to least, are as follows:</p> <ul style="list-style-type: none"> <li>▪ Re-use existing openings.</li> <li>▪ Reconstruct original window/door openings, i.e. remove later masonry infill.</li> <li>▪ Increase the size of existing openings (in a manner that is sensitive to the appearance of the wall and opening).</li> <li>▪ Create limited new openings (in a manner that is sensitive to the appearance of the wall and rhythm of other openings). New openings should be set as far as possible within existing brick panels or bays so as to obviate the need to demolish piers.</li> </ul> <p>Generally, building on top of the malt house is not considered appropriate as this would obscure its form and industrial aesthetic qualities.</p> <p>The 1930s south addition should preferably be retained, and offers greater scope for internal adaptation and conversion than does the 1880s malt house component.</p> <p>The 1918/19 north addition can be retained or removed, although the remnant kiln is of interest and if removed should be recorded prior to removal. New openings could be made in the north elevation of the addition, if required. If the addition is removed, then consideration could be given to reinstating the original north façade of the 1880 building in this area. If retained, the paint should be removed from the Gough Street elevation.</p>	

Building/policy	Comment
<p>The malt house is located more or less in the centre of the Gough Street perimeter of the site in an area which has progressively been densely developed and built up to the height of the malt house, and beyond if considering the silos. In the event of nearby new development on the site, the malt house should not be overwhelmed by any new building which should touch it lightly, if necessary, and not extend over it.</p> <p>Any new buildings should also be clearly modern and light and be conceived as a foil to the more ponderous and heavy nature of the heritage building.</p> <p>New building(s) could be higher and bulkier than the malt house provided that they do not overwhelm it – the malt house needs to retain its own identity and prominence within the site.</p> <p>As with any nearby new development, new elements of this nature should be clearly contemporary, and preferably of light materials so as to avoid confusion with historic fabric.</p>	
<p><b>B6</b></p> <p>Primary significance</p> <p>The south elevation of the 1920 building component is largely intact, is a very visible component of the site, and should be retained in its current form.</p> <p>The north elevation has been altered, is in a less visible area of the site, and therefore offers greater opportunities for modification or alteration.</p> <p>The central roof tower associated with remnant bagging and modern equipment is not original and could be removed, with the roof form reinstated.</p> <p>General external refurbishment and restoration is recommended, and includes removal of later accretions, removal of paint from brick surfaces, and reinstatement of bricked up or infilled openings.</p> <p>The 1928 eastern extension should preferably be retained, but if it is removed the original east end gable of the 1920 malt house would be revealed and refurbished.</p> <p>The western addition could be removed, and the west end wall of the 1920 malt house refurbished or reinstated.</p> <p>Internally, the ground floor space is a significant aspect of the building, and if adaptation is proposed, a substantial proportion of the open space and existing fabric and form of this level should be retained.</p>	<p>The Stage 2 proposal, for part retention and development of B6, is not fully compliant with the CMP policies and recommendations.</p> <p>The extent of demolition proposed, and the construction of a new building within the western component of B6, are actions which were not anticipated in the CMP. While acknowledging the outcomes of these actions, as commented on elsewhere in this report, the proposal for this building is part of a comprehensive suite of works, which involves all the heritage buildings, and which seeks a balanced overall outcome for the site.</p> <p>In regard to external refurbishment and restoration, this will occur for the retained component of the building. The south elevation will also be retained with the proposal. A substantial proportion of the ground and first floor interiors will similarly be maintained, through retention of the east component.</p> <p>The exterior and interior of the building will be recorded prior to the removal of fabric and new construction works.</p>

Building/policy	Comment
<p>The non-original partitions at the east end of the ground floor can be removed.</p> <p>The first floor retains remnants of the original timber storage partitioning at the western end and a remnant bagging area located centrally. New vertical partitioning could be introduced at this level; retention of the existing open plan is not as important here as on the ground floor. If the remnant partitioning and bagging are proposed to be removed, then these elements should first be recorded. Modern plant located at this level can also be removed.</p> <p>Building on top of this malt house is not considered appropriate as this would obscure its form and industrial aesthetic qualities, particularly the important presentation to Harcourt Parade. In the event of nearby new development on the site, the malt house should not be overwhelmed by any new building.</p>	
<p><b>B7</b></p> <p>Secondary significance</p> <p>This building could be altered and adapted, if required, including alteration to the external fabric. Consideration should be given to retaining a remnant drum and associated equipment, as evidence of the drum malting process within this building. If the building is proposed to be removed or demolished, it is recommended that it be recorded including the malting plant (drums) and associated machinery.</p>	<p>The Stage 2 proposal for B7, which is to record and demolish the building, is consistent with the CMP recommendation.</p>
<p><b>B8</b></p> <p>Secondary significance</p> <p>Significant fabric should be retained, including the remnant SMITH MITCHELL &amp; CO COMPANY MALTSTERS signage.</p> <p>The silos offer limited opportunities for adaptation, but in that event it is recommended that the circular/cylinder silos form be substantially maintained and not subsumed by new fabric, so that the silo form is still able to be read.</p> <p>New openings could be considered for the cylinders, provided they are done in a sensitive manner.</p>	<p>The Stage 2 proposal for B8, which is to retain and adapt the silos, is compliant and consistent with the CMP policies and recommendations.</p>
<p><b>B9</b></p> <p>Secondary significance</p> <p>The silos can be retained, adapted or removed.</p> <p>With regard to the landmark qualities, the scale and height of the structure is important. Future management of the silos should seek to retain aspects of their landmark values. This could be achieved through retention of a reduced number of vertical cylinders. Alternatively, a structure of</p>	<p>The Stage 2 proposal for B9, which is to demolish and replace the building, is substantially compliant and consistent with the CMP policies and recommendations, accepting also that a building of greater height than the existing silos is proposed.</p>

Building/policy	Comment
<p>similar scale could be considered for this area of the site, particularly in relation to the need to maintain the prominence and visibility of the Nylex sign.</p> <p>The conservation and management of the sky sign requires it to be maintained in this location, at this height. The silos currently support the sign, but could be replaced by a similar supporting structure.</p>	
<p><b>B10</b></p> <p>Secondary significance</p> <p>B10 can be retained, altered or removed from the site.</p> <p>If the latter occurs, it is recommended that the building and any remnant fabric be photographed and recorded to assist with future site interpretation.</p>	<p>The Stage 2 proposal for B10, which is to record and demolish the building, is consistent with the CMP policies and recommendations.</p>
<p><b>B11</b></p> <p>Primary significance</p> <p>General refurbishment of the external fabric is recommended for B11.</p> <p>In the event of adaptation and/or conversion, new openings should be carefully considered in terms of visual impacts, and preferably largely confined to the less visible east elevation and non-original south elevation.</p> <p>The louvres over the large windows on the upper levels should preferably be retained.</p> <p>With regard to internal adaptation, the building offers opportunities for internal partitioning. The remnant screening equipment on the upper level should be retained in any redevelopment, as should preferably, the existing timber stairs.</p> <p>In terms of new works in the vicinity of this building, while B11 currently has considerable visibility from Punt Road, the west façade is nevertheless utilitarian and nearly identical to the east façade, and is not necessarily a principal elevation. Historically, views of the façade were also screened or restricted by the close proximity of the hotel (Sir Henry Barkly) formerly located to its west, and which predated the barley store. In this context, new works could be introduced to the western setback of the building. B11 is also currently viewed and experienced in the context of buildings of considerable scale (B9) and bulk (B10). Such a context is not particularly sensitive and allows for new works of some scale in proximity to the structure.</p>	<p>The Stage 2 proposal for the demolition of B11, is not consistent with the CMP policies and recommendations.</p> <p>As with the proposed B6 works, the demolition of this building is part of a comprehensive suite of works across the site which seeks a balanced overall outcome.</p> <p>Comments on the heritage impacts associated with this proposed demolition are included above.</p>



### 5.8.2 *Other relevant policies*

The 2005 CMP includes other policies of relevance. The headings reflect the policy titles.

#### **Retain buildings and elements of primary significance**

The retention of buildings and elements of primary significance pose some constraints on how the Richmond Maltings site might be managed and/or redeveloped in the future. Provided these buildings are retained, conserved and sensitively adapted, however, there are then considerable opportunities for redeveloping the broader site. The removal of buildings and elements of lesser significance could facilitate new development. Historically, as outlined elsewhere in this report, the Richmond Maltings site is one where buildings, often substantial buildings, have been introduced and removed from the site.

#### **Comment**

The Stage 2 proposal generally follows this approach, although it differs in that B11, a building of primary significance, is proposed for demolition. This is commented on above, and is acknowledged to be a heritage loss. The demolition is also associated with the proposed more intensive development of this western area of the site, as commented on above. The remainder of the buildings of primary significance will generally be retained, and for the majority of these buildings they will be minimally impacted by the proposed works.

#### **Future uses and adaptation of buildings**

The functional and physical adaptation of the buildings and structures is generally supported from a heritage perspective, provided it does not diminish the identified significance of the place. Where adaptation works include alterations to individually significant areas and elements, they should be designed to have minimal physical impact on significant fabric and, where feasible, should generally be reversible.

In addition there is considerable scope for alterations and adaptation of the buildings of secondary significance.

With regard to future uses, the Richmond Maltings site offers opportunities for a range of new uses, within the physical constraints outlined above and elsewhere in this report. It is also a reasonably robust site in a diverse inner urban area, where a variety of mixed uses already exist locally. The majority of the significant buildings on site can be adapted to a range of uses, including office or commercial use, gallery or performance spaces, retail and possibly also residential...

More generally, and from a heritage perspective, it would be highly desirable if a maltings or brewing related use was retained (or reintroduced) somewhere on site, preferably with a degree of public access. This would be consistent with the use of the site for 150 or so years, particularly in the event of the retained Richmond Maltings buildings being given over to other uses.

#### **Comment**

The Stage 2 proposal is generally consistent with this policy, albeit not all future uses for the retained heritage buildings and spaces have been confirmed.

#### **Demolition**

The policies for the buildings and elements of secondary significance...make provision for the removal or demolition of individual buildings. As a principal, the removal of the numerous minor later additions, accretions, overhead structures,

etc, to the significant buildings is also supported. This would help to reveal some of the original form of these buildings, including in some cases original elevation treatments. It would also assist in enhancing significance through opening up, some albeit limited, views within the site.

#### **Comment**

The Stage 2 proposal is consistent with this policy.

#### **Salvaged materials**

It is recommended that where buildings, parts of buildings or other elements are demolished on the Richmond Maltings site, where appropriate the materials should be recycled including stone, brick, lintels, timbers, etc. Such materials can be reused where making good is required, and where openings or other elements are reinstated, etc.

#### **Comment**

The Stage 2 proposal is consistent with this policy. As noted above, the drawings lodged with this application which identify demolition, also indicate where salvage of demolished materials is proposed. The landscaping treatment also intends to reuse and recycle salvaged materials from across the site, to provide interest and texture to the redeveloped open spaces.

#### **Curtilage**

On 'Curtilage', the CMP includes the following policy:

The purpose of identifying or establishing a curtilage, either around a site, an individual building, or group of buildings, is generally to:

- retain an appropriate setting for the site or heritage buildings (including the valued character and nature of the existing setting);
- assist with managing the interface between heritage buildings and elements and possible new development (ensuring inappropriate development does not occur within the sensitive curtilage area);
- retain, where appropriate, views and vistas of the important facades of the heritage buildings (through keeping open space or undeveloped areas); or
- ensure that functional and physical relationships between buildings are retained (i.e. important spatial connections are maintained).

And:

Richmond Maltings...has been a very built up and densely occupied site for a considerable period, and...very little space or curtilage (other than was absolutely required) has been left between the principal buildings and the additions and accretions to the buildings. In practice, all available space has generally been occupied or appropriated, on a needs basis. Within this context, and should buildings of lesser significance be removed, there may be opportunities to 'open up' or introduce some space to the site, including between and around significant buildings. This could result in facades being revealed after a long period of enclosure (such as the west façade of B5 should B7 be removed), and the setting of individual buildings being enhanced.

With regard to retaining functional relationships on site, the spaces between B5 and B6, and B5 and B4 should not be infilled or built over, but should preferably remain open so as to retain the existing visual relationships between the buildings.

The Richmond Maltings site overall is also very defined and contained within the property boundaries, save for some former maltings buildings on the north side of Gough Street...It is therefore difficult to establish or define a 'curtilage' area beyond the site boundaries. This has also resulted in the site having a separate and discrete presence within the local context, and being distinct from surrounding development, which is an element of its valued heritage character.

#### **Comment**

The Stage 2 proposal is generally consistent with this policy. The spaces between B5 and B6, and B5 and B4 will not be infilled or built over, and will remain open so as to retain the visual relationships between these heritage buildings. The west elevation of B5 will also be revealed and restored.

#### **Significant views and vistas**

...the [Richmond Maltings] site is very visible from adjacent and nearby streets (Gough and Cremorne Streets, Harcourt Parade and Punt Road), with individual buildings having varying degrees of prominence and visibility. While it is not necessarily a visually 'porous' site in terms of visibility, save for its eastern (Cremorne Street) end, the buildings on the property perimeter, particularly on Gough Street and Harcourt Parade where there are virtually no street setbacks, are robust and substantial heritage buildings which are visually prominent in the immediate context and make a significant contribution to the industrial heritage character of these streets.

#### **Comment**

The Stage 2 proposal maintains the existing visibility of the retained heritage buildings. It also maintains and enhances the presentation of B4, B5 and B6 to the respective Gough Street and Harcourt Parade streetscapes. The robust character of B4, and to its west B5, will also help these historic buildings to 'hold their own' to Gough Street within the context of redevelopment at the site. The views of these buildings, along the Gough Street vista, will not be impacted or diminished.

#### **New construction and development**

Industrial sites by their very nature are often densely built-up and contain reasonably substantial buildings. With regard to new development, it would not be inappropriate from a heritage perspective to have a reasonably dense grain and substantial new buildings introduced to this site, subject to the policies included here. As discussed above under 'Curtilage' ...new development should also not impinge upon opportunities to improve the setting of the most significant buildings and elements.

There is also an opportunity to introduce new works of some scale and height, given the scale of structures introduced historically (such as the two silos buildings, and the 1956 malt house on Gough Street), and current character of the site. It is recommended, however, that new development of height should preferably be located at the western or eastern ends of the site, where the visual impacts would be minimised on the lower scale heritage buildings in the centre of the site (particularly B5, B4 and B6). There is also a need to have regard for protecting the landmark qualities of the 1960s silos (B9), and for new development to not obscure or hinder views of the very prominent Nylex sign.

It is also preferable that the perimeter footprint of the site remains visible and distinct, which could be achieved through the siting of new works or as part of a landscape plan.

In terms of fabric, form and materials of new works, it is always preferable in a heritage context to introduce elements that are clearly contemporary and able to be distinguished from the heritage buildings and fabric...The Richmond Maltings site already has a variety of materials (and textures) across the site including brick, stone, some rendered surfaces, steel and various timbers. This existing diversity allows for considerable contemporary interpretation and application of materials. Lightweight and transparent materials and forms may also be appropriate in some cases, particularly when new works are closely associated with, or integrated into, retained heritage buildings.

#### **Comment**

The Stage 2 proposal is generally consistent with this policy and recommended approach to new buildings and development.

#### **Landscape**

...a landscape plan for the subject site should have regard for the strong industrial aesthetic of the site. There is also an opportunity to integrate site interpretation into the landscaping...and to recognise and emphasise the perimeter footprint (or property boundaries) through landscape treatments.

#### **Comment**

The Stage 2 proposal for the landscape is generally consistent with this policy and recommended approach. The landscape proposal is sympathetic to the industrial aesthetic of Richmond Maltings.

#### **Interpretation**

The Richmond Maltings site offers considerable opportunities for interpretation of the site and buildings, including remnant equipment and machinery...a form or level of public access, both into the site generally and also preferably into Building B5, would also be highly desirable from a heritage perspective, to assist with site interpretation. Interpretation of the site would be enhanced by the inclusion of photographs and artefacts. In addition, some oral history from long-time employees would greatly assist the interpretation of the maltings process, and explanation of the machinery and its functions, including more recent technology which may be retained and represented on the site.

Consideration should also be given to enhancing interpretation, and going beyond more static building and machinery interpretation per se, to incorporate landscaping and artworks into the site.

#### **Comment**

A comprehensive interpretation plan will be prepared, to be integrated with the Stage 2 works. The proposed 'slices' to B4 and B5 are significant actions in terms of interpretation. Building B5 will also be accessible, due to its proposed hospitality use.

#### **Recording**

It is essential that a black and white archival quality photographic record and/or a digital or video record of the site, including significant internal fabric, plant and equipment, be made before any demolition or removal of significant buildings or plant occurs. Ideally this should be undertaken in accord with the standard guidelines prepared by Heritage Victoria for such projects...A copy should also be retained and used, where appropriate, in any future site interpretation.

## Comment

Comprehensive recording is proposed with Stage 2, for all buildings and elements identified for demolition.

### 5.9 Historical archaeology

As noted, Richmond Maltings is included in the VHR as both a 'heritage place' and an 'archaeological place'. The VHR statement of significance acknowledges the archaeological significance as follows:

The Barrett Burston Richmond Maltings site is archaeologically significant not only for its visible remnants of the malt houses constructed in 1903 and 1928 but also for the potential archaeological remains of the brewing buildings of the 1852 Cremorne Brewery and 1860s malt house.

The permit exemption for the demolition of the 1956 pneumatic maltings [B10], as already noted, is also subject to an assessment of the archaeological potential of the site of the former 1860s malt house. The requirement to undertake an assessment of the archaeological potential of the site of the 1860s building is also acknowledged in the *Richmond Maltings Desktop Historical Archaeological Assessment* (September 2015, attached as Appendix F to this report), which is submitted with this application.

To avoid confusion, it is noted that the *Historical Archaeological Assessment* report makes reference to two study areas (Study Area 1 and Study Area 2), which when combined largely cover the Stage 2 development area. These are shown in Maps 3 and 5 of the report.

With regard to the archaeology, the report concluded a very low to low level potential for the presence of archaeological remains from the earliest land use periods of the site, being pre-1849 and 1849-1866. For the periods 1866-1909 and 1909-1941, there is a moderate level potential for archaeological remains. Beyond these periods, the potential is high to very high.

Referring again to the permit exemption for the demolition of B10, and the need to undertake an assessment of the archaeological potential of the site of the former 1860s malt house (on top of which B10 is constructed), the report found (B10 is in Study Area 1):

The [1860s] malt house, kiln oven and houses were most likely demolished in the late 1950's and early 1960's. In 1956 a new malt house was built facing Gough Street. The new malt house encompassed the area of the old malt house along with the houses. Between 1960 and 1962 the concrete silos adjacent to Harcourt Parade were built in the location of the former kiln oven.

And:

The potential archaeological remains that could be clearly identified with this period would be buildings associated with the early maltings and residential development on the site. The structures from Phase 2 [1849-1866] should be relatively straight forward to identify, given the available data from the 1896 MMBW plan. The potential presence of this material is conditional on whether later buildings on the site removed earlier structural elements. There is however a good chance that later demolition and construction events sealed rather than destroyed the foundation levels and occupational deposits of Phase 2 and Phase 3 [1866-1909]. All of the existing buildings in Study Area 1 will be demolished as part of the redevelopment. The malt house and dwellings in Study Area 1 were built by 1866 under what is currently building B9 and B10, the 1960's silos and the 1956 malt house.

And:

Should Phase 2 archaeology be present it will take the form of the remains of the early malt house, kiln, associated cess-pits and outbuildings and the two semi-detached dwellings, associated outbuildings, cesspits and gardens.

The report also concluded that if any Phase 2 archaeology is present, its significance would be very high.

On this basis, the report concluded and recommended:

This assessment has established the land use history of the study area and developed an archaeological phasing and significance framework for the site. Due to the potential presence of highly significant archaeological remains from the earliest occupation phases of the site, a suitable program of archaeological investigations should be prepared in consultation with Heritage Victoria well in advance of proposed construction works.

- Archaeological values of the VHR site Richmond Maltings H2050 should be managed through conditions of the Heritage Permit.

#### **5.10 Reasonable and economic use**

As advised, the report 'Independent Report on Economics of Development' by Roger Gibbins, of SC Lennon & Associates (July 2016), is attached as Appendix E.

The purpose of this report is to assess the impact on the reasonable or economic use of the registered place should the proposed development be refused or amended, in accordance with Section 73(1)(b) of the Heritage Act 1995.

Without reproducing the detail of this report, the following provides dot point extracts (paraphrased and summarised) from the Executive Summary of the report, including conclusions:

- The development scheme is based on low, medium and high rise apartments with ancillary retail, commercial and hospitality facilities. A considerable amount of the heritage fabric is to be conserved and adaptively re-used. It is intended that redevelopment of the subject site will be completed in stages. This report deals with 'Stage 2' of the development scheme.
- A key design objective is stated to be 'to maximise the 'conservation outcome' commensurate with the heritage significance of the site and the commercial realities of developing a site of this scale and complexity'.
- In striving to achieve a balance between the heritage and planning requirements and commercial feasibility, the development scheme proposes to demolish heritage building B11. This building has been the subject of a 'yield loss analysis' by Fender Katsalidis Architects, and on this basis it can be seen that retaining B11 results in a loss of a considerable amount of airspace development. It has been estimated that 78 apartments are lost, along with a commensurate number of basement car spaces. There are also additional costs involved in refurbishing B11 with marginal additional revenue.
- The method employed in this report, in making this assessment is based on a feasibility model applied to two scenarios. In the first instance the Caydon Property Group proposal for Stage 2 is modelled to test for 'commercial feasibility'. The model is then re-run with Building B11 retained and adaptively re-used.
- It is important to note that the analysis is conservative for the following reasons:
  - The land value used in the model is based on the statutory valuation as opposed to the price actually paid (for reasons explained in Appendix A). Had the higher price actually paid been used, the Internal Rate of Return (IRR) would be lower.
  - The cost estimates incorporate minimal amounts for contingencies (less than 10%), which at this stage, with only preliminary plans and with uncertainties about site conditions, is very conservative.

- The sales estimates are driven for the most part by adoption of an average selling rate for apartments of around \$9,000 per square metre. The property consultant's report suggests 'upwards of \$8,000'.
- The cost estimates for the heritage components are considered to be conservatively low.
- The test of 'commercial feasibility' is set at a hurdle IRR of 20%. The justification for this is explained in Appendix A.
- The test of 'commercial feasibility' is set at a hurdle Internal rate of Return (IRR) of 20%. The justification for this is explained in Appendix A.
- The modelling estimates that the IRR on the proposal as submitted is only 13.01%, which is well below the industry standard hurdle rate of 20%. This indicates that the balance between the conservation outcome and commercial feasibility is heavily weighted towards the conservation outcome.
- With regard to the second option modelled – 'Retain B11' --- the IRR is estimated to be only 2.62%. This is a clear indication that this option is not commercially feasible.

Conclusions are drawn on the matters contained in the Heritage Victoria Guidelines:

- When considering section 73(1)(b) the Executive Director needs to first determine what is the reasonable use of the heritage place or registered object.
  - Operation of the site for sale maltings has ceased and the plant and equipment are obsolete for this purpose. Clearly this use is not being contemplated. The zoning of the land does not cater for heavy industrial uses.
  - The question of what is a reasonable use going forward is influenced by the zoning and is inextricably linked to the economic use of the site. This means a balance between the intent of the zone; the conservation outcome and the commercial feasibility of redevelopment must be found. It is assumed a publicly funded use such as an 'arts and community precinct' (e.g. Abbotsford Convent) is not possible or desirable, as this is a privately owned site and the many tens of millions of dollars that would be required are not on offer.
- A reasonable use is to be assessed objectively having considered the particular circumstances of the proposal before the Executive Director. In forming a view the Executive Director might consider:
  - The historic and recent uses of the place or object: The current zoning clearly does not support an industrial use. The site hosts buildings of heritage significance that are vacant and in these circumstances are potentially under threat. New uses must be found and guidance on this is contained in the current zoning.
  - Other potential uses, of the place or object: Potential uses falling under the banner 'mixed use' include residential, commercial, hospitality and retail. The highest return mix in this location is predominantly apartments with ancillary commercial, hospitality and retail. It is the apartments that provide the capital base to cross subsidise the conservation outcome.
  - The context within which the place or object is located: Cremorne is an inner city transitional area which is increasingly accommodating residential development as the highest and best use. The retail/commercial component is proposed to incorporate a supermarket, a 'gastro pub', specialty retailers (proposed cafe and bakery) and office accommodation and these uses will complement the residential component. They will attract visitors to the site, who will be afforded an opportunity to appreciate and interpret the heritage assets.
  - The long-term financial viability of the place or object if the current use is maintained: The current use cannot be maintained and the site is encumbered by existing heritage buildings, their inflexible form and their placement. In the absence of a commercially feasible development to subsidise the conservation outcome, the likelihood is that the site will host marginal uses that will not generate the funds that

are necessary to maintain let alone conserve and adaptively re-use the heritage assets.

### 5.11 Concluding comments

In any redevelopment of the Richmond Maltings site, the reasonable expectation is that the buildings of heritage significance will be retained, although not all parts of these buildings need be retained or treated equally. There is also the potential for partial retention, and full demolition as proposed here in some instances, in order to provide for new buildings and development. This is part of the balance, or the 'give and take', of redeveloping a former industrial site which is large, complex and evolved, and comprised of redundant buildings of varying levels of heritage value.

The condition of the heritage buildings, and the extent of conservation and restoration works required, are also very considerable factors to be weighed up in terms of a balanced outcome for the site. In addition, there is the required site remediation, the clean-up of hazardous materials, meeting energy and ESD performance objectives, and delivering a suite of positive urban initiatives. All of these objectives and outcomes must be met with the proposed redevelopment.

While as a general principle, the significant fabric of the heritage buildings should be retained, modifications and interventions into the buildings can be contemplated where adaptation is proposed. Again, it is the balance between change, intervention and retention which is central to the assessment.

In addressing the heritage impacts of Stage 2, including the impacts on individual buildings due to proposed modifications and interventions, and the broader site-wide impacts associated with a development of this scale, an understanding of these competing factors is important.

Richmond Maltings is a heritage place with significant 'micro' character and elements, evidenced in parts of buildings, distinctive interior spaces, remnant fabric, and historic machinery and equipment. It is also a heritage place of significant 'macro' character, where the patterns of historic development have seen new buildings replace old, and large robust buildings crowded onto the site and abutting each other. The Stage 2 development maintains these contrasting characteristics of the site.

The overall significance of Richmond Maltings as identified in the VHR citation, where the place is recognised to be 'historically, scientifically (technologically), aesthetically, socially and archaeologically significant to the State of Victoria', generally will be maintained with this proposal.

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1 Copy of agreement, as provided by Caydon.

2 Descriptions of individual buildings and elements, including historical information, are taken from *Richmond Maltings Complex, Gough Street, Richmond: Conservation Management Plan*, Lovell Chen, October 2005.

3 *Richmond Maltings Complex, Gough Street, Richmond: Conservation Management Plan*, Lovell Chen, October 2005, p. 47.

4 Copy of agreement, as provided by Caydon.